



City of Los Banos

At the Crossroads of California

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AGENDA

PLANNING COMMISSION

CITY HALL COUNCIL CHAMBERS
520 J Street
Los Banos, California

WEDNESDAY, DECEMBER 11, 2019

If you require special assistance to attend or participate in this meeting, please call the Planning Secretary @ (209) 827-7000 ext. 2431 at least 48 hours prior to the meeting.

The City of Los Banos complies with the Americans with Disabilities Act (ADA) of 1990.

Si requiere asistencia especial para atender o participar en esta junta por favor llame a la oficina de la Secretaria del Departamento de Planificación al (209) 827-7000 ext. 2431 a lo menos de 48 horas previas de la junta.

La Ciudad de Los Banos cumple con la Acta de Americanos con Desebilidad (ADA) de 1990.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the meeting and in the Community & Economic Development Department's office located at City Hall, 520 J Street, Los Banos, California during normal business hours.

In addition, such writings and documents may be posted on the City's website at www.losbanos.org.

Cualquier escritura o los documentos proporcionaron a una mayoría del Comisión de Planificación con respecto a cualquier artículo en este orden del día será hecho disponible para la inspección pública en la reunión y en la oficina del Departamento de Comunidad y Desarrollo Economico del City Hall, 520 J Street, Los Banos, California durante horas de oficina normales.

Además, tales escrituras y los documentos pueden ser anunciados en el website de la Ciudad en www.losbanos.org.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL: (Planning Commission Members)

7:00 PM

Cates __, Higby __, Toscano __, Uhley __

4. APPROVAL OF AGENDA

Recommendation: Approve the agenda as submitted.

5. CONSIDERATION OF APPROVAL OF THE ACTION MINUTES FOR THE REGULAR PLANNING COMMISSION MEETING OF OCTOBER 9, 2019

Recommendation: Approve the minutes as submitted.

6. CONSIDERATION OF APPROVAL OF THE ACTION MINUTES FOR THE SPECIAL PLANNING COMMISSION MEETING OF NOVEMBER 25, 2019

Recommendation: Approve the minutes as submitted.

7. CONSIDERATION OF APPROVAL OF THE ACTION MINUTES FOR THE SPECIAL PLANNING COMMISSION MEETING OF DECEMBER 2, 2019

Recommendation: Approve the minutes as submitted.

8. PUBLIC FORUM: Members of the public may address the Commission on any item of public interest that is within the jurisdiction of the Commission, including agenda and non-agenda items. No action will be taken on non-agenda items. Speakers are limited to a five (5) minute presentation.

9. PUBLIC HEARINGS: If You Challenge the Proposed Action as Described herein in Court, You May Be Limited to Raising Only Those Issues You or Someone Else Raised at the Public Hearing Described herein, or in Written Correspondence, Delivered to the City at, or Prior to, the Public Hearing.

A. Public Hearing – To Consider a Categorical Exemption from the California Environmental Quality Act (CEQA) Pursuant to Section 15332 (Infill Development Projects) for Site Plan Review #2019-05 and Conditional Use Permit #2019-05 for the Development of a Self-Storage Facility within the Highway-Commercial Zoning District Consisting of Eight (8) Storage Buildings with a Two-Story Manager Building Totaling 125,900 Square Feet to be Developed on a Vacant 5.01 Acre Parcel Located East of Ortigalita Road, South of Pacheco Boulevard, and North of Birch Street, More Specifically Identified as Assessor's Parcel Number: 431-141-013.

1) Planning Commission Resolution No. 2019-25 – Approving a Categorical Exemption from the California Environmental Quality Act Pursuant to Section 15332, In-Fill Development Projects, and Approving Site Plan Review #2019-05 for the Development of a Self-Storage Facility Totaling 125,900 Square Feet to be Developed on a Vacant 5.01 Acre Parcel Located East of Ortigalita Road, South of Pacheco Boulevard, and North of Birch Street, More Specifically Identified as Assessor's Parcel Number: 431-141-013.

- 2) Planning Commission Resolution No. 2019-26 – Approving a Categorical Exemption from the California Environmental Quality Act Pursuant to Section 15332, In-Fill Development Projects, and Approving Conditional Use Permit #2019-05 for the Use of a Self-Storage Facility Totaling 125,900 Square Feet to be Developed on a Vacant 5.01 Acre Parcel Located East of Ortigalita Road, South of Pacheco Boulevard, and North of Birch Street, More Specifically Identified as Assessor’s Parcel Number: 431-141-013.

Recommendation: Receive staff report, open the public hearing, receive public comment, close the public hearing, and adopt the resolutions as submitted.

- B. Public Hearing – To Consider Vesting Tentative Tract Map #2019-01 for Mission Village South Phase 5A Consisting of the Subdivision of Approximately 8.85 Acres into 10 Single-Family Residential Lots Ranging from 3,755 Square Feet to 4,697 Square Feet and a 7.81 Acre Remainder Parcel Located East of Mercey Springs Road, South of Mission Drive and North of Willmott Avenue, More Specifically Identified as Assessor’s Parcel Number: 428-280-012.

- 1) Planning Commission Resolution No. 2019-27 – Approving Vesting Tentative Tract Map #2019-01 for Mission Village South Phase 5A for the Subdivision of Approximately 8.85 Acres into 10 Single-Family Residential Lots Ranging from 3,755 Square Feet to 4,697 Square Feet and a 7.81 Acre Remainder Parcel Located East of Mercey Springs Road, South of Mission Drive, and North of Willmott Avenue, More Specifically Identified as Assessor’s Parcel Number: 428-280-012.

Recommendation: Receive staff report, open the public hearing, receive public comment, close the public hearing, and adopt the resolution as submitted.

10. DESIGN REVIEW STUDY SESSION – DEVELOPMENT OF 74 LOW-DENSITY RESIDENTIAL (R-1) LOTS WITHIN THE SHAUNESSY VILLAGE SUBDIVISION LOCATED EAST OF MERCEY SPRINGS ROAD AND NORTH OF SCRIPPS DRIVE FOR D. R. HORTON CA3.

Recommendation: Receive staff analysis and provide initial feedback to the applicant.

11. DESIGN REVIEW STUDY SESSION – MODIFICATION OF THE EXTERIOR COLOR OF AN EXISTING COMMERCIAL BUILDING TOTALLING APPROXIMATELY 2,100 SQUARE FEET LOCATED IN THE MIXED-USE (M-X) ZONING DISTRICT AT 201 I STREET, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR’S PARCEL NUMBER: 025-271-001.

Recommendation: Receive staff analysis and provide initial feedback to the applicant.

12. COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT REPORT

13. COMMISSIONER REPORTS

- A. Cates
- B. Higby
- C. Toscano
- D. Uhley

14. ADJOURNMENT.

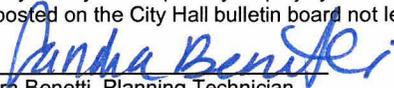
APPEAL RIGHTS AND FILING PROCEDURES

Any person dissatisfied with an act or determination of the Planning Commission may appeal such act or determination to the Planning Commission by filing written notice with the Planning Commission Secretary not later than five (5) business days (excluding holidays) after the day on which the act or determination was made. An appeal must state the act or determination which is being appealed, the identity of the applicant and his/her interest in the matter, and set forth in concise statement(s) the reasons which render the Commission's decision unjustified or inappropriate. (Los Banos Municipal Code Section 9-3.2326)

Concerning an action taken by the Planning Commission related to Chapter 2 Articles 1 through 17 of the Los Banos Municipal Code "Subdivisions", if a subdivider or other affected property owner is dissatisfied with any action of the Commission with respect to a tentative map or the nature and extent of improvements recommended or required he/she may within fifteen (15) days after such action appeal to the Planning Commission Secretary for a public hearing on the matter. An appeal must state the action being appealed, identify the agenda item by agency number or project title, and set forth in concise statement(s) the reasons for the appeal. (Los Banos Municipal Code Sections 9-2.807)

Appeals must be in writing and include the appellant's name and address and original signature. A filing fee of \$150.00 must accompany the notice of appeal.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the City Hall bulletin board not less than 72 hours prior to the meeting.


Sandra Benetti, Planning Technician

Dated this 6th day of December 2019

**CITY OF LOS BANOS
PLANNING COMMISSION MEETING MINUTES
OCTOBER 9, 2019**

ACTION MINUTES – These minutes are prepared to depict action taken for agenda items presented to the Planning Commission. For greater detail of this meeting refer to the electronic media (CD and/or audio) kept as a permanent record.

CALL TO ORDER: Chairperson Cates called the Planning Commission Meeting to order at the hour of 7:00 p.m.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was led by Commissioner Higby.

ROLL CALL – MEMBERS OF THE PLANNING COMMISSION PRESENT: Planning Commission Members John Cates, David Dees, Thomas Higby III, and Susan Toscano; Mona Giuliani absent.

STAFF MEMBERS PRESENT: City Attorney William A. Vaughn, Community & Economic Development Director Stacy Elms, Associate Planner Rudy Luquin, and Planning Technician Sandra Benetti.

CONSIDERATION OF APPROVAL OF AGENDA. Motion by Higby, seconded by Dees to approve the agenda as submitted. The motion carried by the affirmative action of all Planning Commission Members present; Giuliani absent.

CONSIDERATION OF APPROVAL OF THE ACTION MINUTES FOR THE REGULAR PLANNING COMMISSION MEETING OF SEPTEMBER 11, 2019. Motion by Higby, seconded by Dees to approve the minutes as submitted. The motion carried by the affirmative action of all Planning Commission Members present; Giuliani absent.

CONSIDERATION OF APPROVAL OF THE ACTION MINUTES FOR THE ADJOURNED JOINT CITY COUNCIL/PLANNING COMMISSION MEETING OF SEPTEMBER 25, 2019. Motion by Dees, seconded by Toscano to approve the minutes as submitted. The motion carried by the affirmative action of all Planning Commission Members present; Giuliani absent.

PUBLIC FORUM: MEMBERS OF THE PUBLIC MAY ADDRESS THE PLANNING COMMISSION MEMBERS ON ANY ITEM OF PUBLIC INTEREST THAT IS WITHIN THE JURISDICTION OF THE CITY; INCLUDES AGENDA AND NON-AGENDA ITEMS. NO ACTION WILL BE TAKEN ON NON-AGENDA ITEMS. SPEAKERS ARE LIMITED TO A FIVE (5) MINUTE PRESENTATION. DETAILED GUIDELINES ARE POSTED ON THE COUNCIL CHAMBER INFORMATIONAL TABLE.

Chairperson Cates opened the public forum. No one came forward to speak and the public forum was closed.

PUBLIC HEARING – TO CONSIDER A CONDITIONAL USE PERMIT AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15332 IN-FILL DEVELOPMENT PROJECTS TO ALLOW THE USE OF A TYPE 41 ALCOHOL LICENSE FOR THE ON-SALE OF BEER AND WINE IN CONJUNCTION WITH A BONA-FIDE EATING ESTABLISHMENT LOCATED AT 1101 F STREET, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR’S PARCEL NUMBER 025-152-009. Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

Commissioner Dees inquired if it is normal to approve a Conditional Use Permit before the building has been built.

Associate Planner Luquin confirmed that it is typical and the permit won't be issued until the building is complete.

Commissioner Higby inquired about outside cameras.

Associate Planner Luquin responded that there were outside cameras conditioned as part of the Site Plan Review approval, how this Conditional Use Permit conditions interior cameras, and stated that the camera plan has to be approved by Police Chief as well.

Chairperson Cates spoke of his concern that patrons could congregate on sidewalk near the residential neighborhood.

Commissioner Toscano inquired about how long it would take to finish construction.

Juan Carlos Bustillos, applicant, responded that it will take them about a year to start construction.

Chairperson Cates opened the public hearing. No one came forward to speak and the public hearing was closed.

Motion by Dees, seconded by Toscano to adopt Planning Commission Resolution No. 2019-21 – Finding the Proposed Project to be Categorically Exempt from the California Environmental Quality Act Pursuant to Section 15332, In-Fill Development Projects, and Recommending Approval of Conditional Use Permit #2019-03 to the Los Banos City Council to Allow for the Sale of Alcohol Under a Type 41 On-Sale Beer and Wine License at a Proposed Restaurant to be Located at 1101 F Street, More Specifically Identified as APN: 025-152-009. The motion carried by the affirmative action of all Planning Commission Members present; Giuliani absent.

PUBLIC HEARING – TO CONSIDER A SITE PLAN REVIEW #2017-03 FOR THE INSTALLATION OF ONE (1) MODULAR STRUCTURE TOTALING 2,208 SQUARE AND A CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL

QUALITY ACT PURSUANT TO SECTION 15311 ACCESSORY STRUCTURES LOCATED AT 809 D STREET, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBERS: 025-092-001, 002, 003, AND 004. Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

Chairperson Cates opened the public hearing. No one came forward to speak and the public hearing was closed.

Commissioner Higby inquired if there were going to be any additional parking requirements.

Associate Planner Luquin responded that since this building is for social events for the church's congregation it's not anticipated that it would be rented out or in addition to regular service parking population, and stated that staff doesn't believe it's necessary to add additional parking requirements.

Motion by Dees, seconded by Higby to adopt Planning Commission Resolution No. 2019-20 – Approving Site Plan Review #2017-03 for the Placement of One (1) 2,208 Square Foot Modular Structure along with Site Improvements within the Low-Density Residential (R-1) Zoning District and a Categorical Exemption from the California Environmental Quality Act Pursuant to Section 15311, Accessory Structures, Located at 809 D Street, More Specifically Identified as Assessor's Parcel Numbers: 025-092-001,002,003, and 004. The motion carried by the affirmative action of all Planning Commission Members present; Giuliani absent.

DESIGN REVIEW STUDY SESSION – MODIFICATION OF THE EXTERIOR OF AN EXISTING MULTI-TENANT COMMERCIAL BUILDING TOTALLING APPROXIMATELY 3,540 SQUARE FEET LOCATED IN THE HIGHWAY-COMMERICAL (H-C) ZONING DISTRICT AT 25 W. PACHECO BOULEVARD, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBER: 026-061-018. Associate Planner Luquin presented the staff report, which included a PowerPoint presentation, and distributed a revised color scheme prior to the start of the meeting which was received from the applicant today.

Joe Lyons, applicant's representative, spoke of how the building is currently a fire hazard and adding stucco to the building will reduce the fire hazard.

Chairperson Cates inquired if there has been thought to break up the massing facing traffic on the northside elevation.

Commissioner Toscano commented that there needs to be a little landscaping because there isn't any currently.

Mr. Lyons responded that he will let the property owner know.

Community & Economic Development Director Elms stated that staff supports the addition of landscaping and will want to see the applicant meet the 50% shade tree canopy as a current standard and suggested the addition of a belly band or stone veneer to break up the massing around at least the northern and eastern elevations.

Chairperson Cates stated that the northside elevation needs to be improved.

Mr. Lyons stated that they can add planters and trees around the property and can bring forward a landscaping plan at a future date.

Chairperson Cates stated that he would like schedule another review of this project.

Commissioner Dees inquired if the applicant was considering new signage.

Mr. Lyons responded that the property owner is not considering new signage.

Community & Economic Development Director Elms commented that signage is on each individual tenant, but suggested that the applicant relay this back to the tenants.

Commissioner Dees stated that he wants those tenants to be successful and updated signage would help.

Informational item only, no action taken.

COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR REPORT.

Community & Economic Development Director Elms reported that staff introduced a new ordinance at the last City Council meeting regarding Planning Commission seats and attendance, how the ordinance will reduce the Commission from 7 to 5 seats with representation of each City Council district and one member at large appointed by Mayor, how they will be 4 year terms in line with the appointing City Council member, how the Mayor's appointee will be 2 year term, how 3 consecutive absences would be an automatic forfeiture of the seat, how no more than 4 absences are allowed in rolling 12 month period, how this ordinance is scheduled to be adopted on November 6, 2019, proposing that the terms expiring in 2019 would carry forward to 2020 and Districts 1 & 4 would be appointed at that time, how the Property & Business Improvement District (PBID) was approved at the last City Council meeting as well where a resolution of formation was adopted, and how this should provide a positive sustainable funding source for the downtown.

Chairperson Cates inquired if staff knows what happened to Pizza Factory.

Community & Economic Development Director Elms responded that staff was informed today that they were no longer operating and a new pizza business is looking to occupy that space.

Commissioner Dees inquired about the source of funding for the PBID.

Community & Economic Development Director Elms responded that it is a self-assessment improvement district and explained the Prop 218 process for the formation of the PBID.

Chairperson Cates inquired if there will be a design review for the old crest theater.

Community & Economic Development Director Elms stated that staff has not received anything on changes to the building, how there is an approved color palette for downtown and they will be selecting colors from the palette, and stated that they are currently working to make sure its structurally sound and are weatherizing it.

PLANNING COMMISSION MEMBER REPORTS.

CATES: Thanked staff for their work.

DEES: Spoke of how the Friends of Library will hold an art show on October 17th from 5:00 p.m. - 8:00 p.m.

GIULIANI: Absent.

HIGBY: No report.

TOSCANO: Spoke of how the Best Western sign sticks out into the line of sight so it's hard to see oncoming traffic and inquired if is there a way to get that sign moved in further.

City Attorney Vaughn stated that she needs to contact the department directly to discuss this matter.

ADJOURNMENT: The meeting was adjourned at the hour of 7:49 p.m.

APPROVED:

John Cates, Chairperson

ATTEST:

Sandra Benetti, Planning Technician

**CITY OF LOS BANOS
PLANNING COMMISSION SPECIAL MEETING MINUTES
NOVEMBER 25, 2019**

ACTION MINUTES – These minutes are prepared to depict action taken for agenda items presented to the Planning Commission. For greater detail of this meeting refer to the electronic media (CD and/or audio) kept as a permanent record.

CALL TO ORDER: Chairperson Cates called the Planning Commission Meeting to order at the hour of 6:00 p.m.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was led by Commissioner Uhley.

ROLL CALL – MEMBERS OF THE PLANNING COMMISSION PRESENT: Planning Commission Members John Cates, Thomas Higby III, Susan Toscano, and Katherine Uhley; David Dees absent.

STAFF MEMBERS PRESENT: City Attorney William A. Vaughn, Community & Economic Development Director Stacy Elms, Associate Planner Rudy Luquin, and Planning Technician Sandra Benetti.

CONSIDERATION OF APPROVAL OF AGENDA. Motion by Higby, seconded by Toscano to approve the agenda as submitted. The motion carried by the affirmative action of all Planning Commission Members present; Dees absent.

PUBLIC FORUM: MEMBERS OF THE PUBLIC MAY ADDRESS THE PLANNING COMMISSION MEMBERS ON ANY ITEM OF PUBLIC INTEREST THAT IS WITHIN THE JURISDICTION OF THE CITY; INCLUDES AGENDA AND NON-AGENDA ITEMS. NO ACTION WILL BE TAKEN ON NON-AGENDA ITEMS. SPEAKERS ARE LIMITED TO A FIVE (5) MINUTE PRESENTATION. DETAILED GUIDELINES ARE POSTED ON THE COUNCIL CHAMBER INFORMATIONAL TABLE.

Chairperson Cates opened the public forum. No one came forward to speak and the public forum was closed.

CONSIDERATION OF APPROVAL OF PLANNING COMMISSION RESOLUTION NO. 2019-22 – DETERMINING GENERAL PLAN CONSISTENCY PURSUANT TO GOVERNMENT CODE SECTION 65402 AND PUBLIC RESOURCES CODE SECTION 21151.2 FOR LOS BANOS UNIFIED SCHOOL DISTRICT RELATIVE TO THE DEVELOPMENT OF A NEW PARKING LOT AT HENRY MILLER ELEMENTARY SCHOOL LOCATED SOUTH OF M STREET, EAST OF IOWA AVENUE, NORTH OF WEST PACHECO BOULEVARD, AND WEST OF ILLINOIS AVENUE, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBER: 027-143-005.

Community & Economic Development Director Elms presented the staff report, which included a PowerPoint presentation.

Assistant Superintendent Amer Iqbal stated that the school district will be adding covered fencing, cameras, and lighting at this location for additional security.

Commissioner Toscano inquired if there will be a traffic evaluation done.

Community & Economic Development Director Elms responded that this parking lot will only consist of 25 spaces so a traffic study won't be necessary or required because its under 100 trips and will be utilities mostly for school staff.

Chairperson Cates inquired if there will be lighting.

Community & Economic Development Director Elms responded that staff will require a photometric plan and since this is non-educational or classroom-related, staff will facilitate the permitting process.

Commissioner Higby inquired if the parking lot will be locked and secured.

Mr. Iqbal confirmed that the parking lot will be fenced and screened in addition to security cameras onsite.

Chairperson Cates inquired if there will there be issues with the residential areas adjacent to this property.

Community & Economic Development Director Elms stated that this new parking lot should alleviate the parking issues on the street since staff will be parking in the lot instead of on the residential streets.

Motion by Higby, seconded by Uhley to adopt Planning Commission Resolution No. 2019-22 – Determining General Plan Consistency Pursuant to Government Code Section 65402 and Public Resources Code Section 21151.2 for Los Banos Unified School District Relative to the Development of a New Parking Lot at Henry Miller Elementary School Located South of M Street, East of Iowa Avenue, North of West Pacheco Boulevard, and West of Illinois Avenue, More Specifically Identified as Assessor's Parcel Number: 027-143-005. The motion carried by the affirmative action of all Planning Commission Members present; Dees absent.

DESIGN REVIEW STUDY SESSION – MODIFICATION OF THE EXTERIOR OF AN EXISTING MULTI-TENANT COMMERCIAL BUILDING TOTALLING APPROXIMATELY 3,540 SQUARE FEET LOCATED IN THE HIGHWAY-COMMERICAL (H-C) ZONING DISTRICT AT 25 W. PACHECO BOULEVARD, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBER: 026-061-018.

Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

Commissioner Toscano stated that these plans look much better than the previous submission.

Commissioner Uhley commented that these elevations do look better than the previous elevation that was submitted.

Community & Economic Development Director Elms asked Associate Planner Luquin to explain any belly banding or stone veneer that may be proposed.

Associate Planner Luquin stated that the applicant hasn't proposed stone veneer due to the expense, how the applicant has stated that the tenants are barely making it and the additional expenses could be detrimental in cost to these businesses, how the applicant has added belly banding to break up the massing, and spoke of how these changes will also help this location match La Quinta Inn across the highway.

Commissioner Higby commented that these new drawings incorporate the Commission's previous suggestions.

Feedback given to applicant only, no action taken.

DESIGN REVIEW STUDY SESSION – MODIFICATION OF THE EXTERIOR OF AN EXISTING MULTI-TENANT COMMERCIAL BUILDING TOTALLING APPROXIMATELY 3,540 SQUARE FEET LOCATED IN THE HIGHWAY-COMMERICAL (H-C) ZONING DISTRICT AT 25 W. PACHECO BOULEVARD, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBER: 026-061-018.

Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

Community & Economic Development Director Elms noted that the applicant included photos of the applicant's project location in Gilroy which will look similar to the location in Los Banos.

Ed Boersma, Cubix Construction Company, spoke of how they designed this themselves and mimics the location in Gilroy, and is present to answer any questions.

There was discussion among Commissioners, staff, and the applicant regarding architecture.

Chairperson Cates inquired about the availability of a materials board.

Mr. Boersma offered to bring video of the Gilroy location in place of a materials board to the public hearing.

There was discussion among Commissioners, staff, and the applicant regarding lighting.

Mr. Boersma stated that this will be a very safe place to be, controlled access gate, each door will be individually alarmed, they will have video cameras recording all the time, motion sensor lights, resident manager onsite, and secured locked gate.

Commissioner Uhley inquired if the cameras and lights will infringe on residential adjacent properties.

Mr. Boersma responded that the lights will be facing inward and will not affect neighbors.

Chairperson Cates inquired about the height of the perimeter wall.

Mr. Boersma responded that the wall will be approximately 11 feet which is lower than what is allowed.

There was discussion among Commissioners, staff, and the applicant regarding landscaping including the view of the southern facing wall from residential areas, vegetation along the east boundary line, maintenance of the row of landscaping, how CMU walls are a typical go-to between commercial and residential uses, and how it's the pleasure of Planning Commission to require separation between the 2 uses and whether the landscaping is necessary back there.

Chairperson Cates thanked the applicant for coming forward with this project.

Feedback given to applicant only, no action taken.

Chairperson Cates asked if we could put Community & Economic Development Department report on next Special Meeting agenda.

ADJOURNMENT: The meeting was adjourned at the hour of 6:43 p.m.

APPROVED:

John Cates, Chairperson

ATTEST:

Sandra Benetti, Planning Technician

**CITY OF LOS BANOS
PLANNING COMMISSION SPECIAL MEETING MINUTES
DECEMBER 2, 2019**

ACTION MINUTES – These minutes are prepared to depict action taken for agenda items presented to the Planning Commission. For greater detail of this meeting refer to the electronic media (CD and/or audio) kept as a permanent record.

CALL TO ORDER: Chairperson Cates called the Planning Commission Meeting to order at the hour of 6:01 p.m.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was led by Commissioner Higby.

ROLL CALL – MEMBERS OF THE PLANNING COMMISSION PRESENT: Planning Commission Members John Cates, Thomas Higby III, Susan Toscano, and Katherine Uhley.

STAFF MEMBERS PRESENT: City Attorney William A. Vaughn, Community & Economic Development Director Stacy Elms, Associate Planner Rudy Luquin, and Planning Technician Sandra Benetti.

CONSIDERATION OF APPROVAL OF AGENDA. Motion by Higby, seconded by Toscano to approve the agenda as submitted. The motion carried by the affirmative action of all Planning Commission Members present.

PUBLIC FORUM: MEMBERS OF THE PUBLIC MAY ADDRESS THE PLANNING COMMISSION MEMBERS ON ANY ITEM OF PUBLIC INTEREST THAT IS WITHIN THE JURISDICTION OF THE CITY; INCLUDES AGENDA AND NON-AGENDA ITEMS. NO ACTION WILL BE TAKEN ON NON-AGENDA ITEMS. SPEAKERS ARE LIMITED TO A FIVE (5) MINUTE PRESENTATION. DETAILED GUIDELINES ARE POSTED ON THE COUNCIL CHAMBER INFORMATIONAL TABLE.

Chairperson Cates opened the public forum. No one came forward to speak and the public forum was closed.

PUBLIC HEARING – TO CONSIDER A CONDITIONAL USE PERMIT AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301, EXISTING FACILITIES TO ALLOW THE USE OF A TYPE 41 ALCOHOL LICENSE FOR THE ON-SALE OF BEER AND WINE IN CONJUNCTION WITH A BONA-FIDE EATING ESTABLISHMENT FOR A PROPOSED RESTAURANT TO BE LOCATED AT 1041 E. PACHECO BOULEVARD, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR’S PARCEL NUMBER: 026-182-003. Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

Commissioner Higby inquired if a tax office is located here as well.

Associate Planner Luquin responded that the building has existing areas for a tax office and flower shop as well.

Chairperson Cates opened the public hearing. No one came forward to speak and the public hearing was closed.

Motion by Higby, seconded by Toscano to adopt Planning Commission Resolution No. 2019-23 – Finding the Proposed Project To Be Categorically Exempt from the California Environmental Quality Act Pursuant to Section 15301, Existing Facilities, and Recommending Approval of Conditional Use Permit #2019-04 to the Los Banos City Council to Allow for the Sale of Alcohol Under a Type 41 On-Sale Beer and Wine License at 1041 E. Pacheco Boulevard, More Specifically Identified as APN: 026-182-003. The motion carried by the affirmative action of all Planning Commission Members present.

PUBLIC HEARING – TO CONSIDER A CONDITIONAL USE PERMIT AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301, EXISTING FACILITIES TO ALLOW THE USE OF A TYPE 41 ALCOHOL LICENSE FOR THE ON-SALE OF BEER AND WINE IN CONJUNCTION WITH A BONA-FIDE EATING ESTABLISHMENT FOR A PROPOSED RESTAURANT TO BE LOCATED AT 2260 E. PACHECO BOULEVARD, SUITES A & B, MORE SPECIFICALLY IDENTIFIED AS ASSESSOR’S PARCEL NUMBER: 428-160-027. Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

Chairperson Cates opened the public hearing. No one came forward to speak and the public hearing was closed.

Motion by Toscano, seconded by Uhley to adopt Planning Commission Resolution No. 2019-24 – Finding the Proposed Project to be Categorically Exempt from the California Environmental Quality Act Pursuant to Section 15301, Existing Facilities, and Recommending Approval of Allow for the Sale of Alcohol Under a Type 41 On-Sale Beer and Wine License at 2260 E. Pacheco Boulevard, Suites A & B, More Specifically Identified as APN: 428-160-027. The motion carried by the affirmative action of all Planning Commission Members present.

DESIGN REVIEW STUDY SESSION – DEVELOPMENT OF 77 MEDIUM-DENSITY RESIDENTIAL (R-2) LOTS WITHIN THE SHAUNESSY VILLAGE SUBDIVISION LOCATED EAST OF MERCY SPRINGS ROAD AND NORTH OF SCRIPPS DRIVE FOR STONEFIELD HOME, INC. Associate Planner Luquin presented the staff report, which included a PowerPoint presentation.

DANA HOWELL, Stonefield Homes, was present on behalf of the developer.

JOVAN GRANADOS, Stonefield Homes, was present on behalf of the developer.

There was discussion among Commissioners, staff, and the applicant regarding architecture including roofing materials such as composite and tile, how community design standards state compatibility with existing neighborhood is priority, and how a combination of composition and the upgraded option for tile would both fit in with the adjacent College Greens subdivision.

There was discussion among Commissioners, staff, and the applicant regarding landscaping how landscaping in the front is standard and will meet the City's ordinance.

Chairperson Cates inquired if there will be solar offered.

Mr. Howell responded that current building permits are solar-optional and not solar-mandated.

Commissioner Toscano stated that the Commission didn't receive landscaping plans in this staff report.

Community & Economic Development Director Elms responded that these elevations show typical landscaping, no official plans will go to the Planning Commission, and how there is a City approved tree list from which the developer must choose species.

There was discussion among Commissioners, staff, and the applicant regarding lighting including energy efficiency and LEDs.

Associate Planner Luquin asked if the Commission would like to evaluate off-street parking concerns as well.

Chairperson Cates asked to proceed with discussing off-street parking concerns.

Associate Planner Luquin spoke of how the public hearing that was held to approve the Vesting Tentative Tract Map for Shaunessy Village brought forward concerns regarding off-street parking and narrower streets and lots, the original Commissioner who pointed out those concerns is longer on the Commission, and asked if the Commission still has these concerns.

Chairperson Cates inquired if any modifications have been made.

Mrs. Granados stated that no modifications have been made.

There was discussion among Commissioners, staff, and the applicant regarding lot layouts and driveway cuts, off-street parking and street parking, and street sizes.

Community & Economic Development Director Elms stated that these will be standard street sizes and continuation of existing streets in the adjacent neighborhood.

Community & Economic Development Director Elms reported that the remainder of lots of this subdivision will be built by D.R. Horton CA3 and will come forward to the Planning Commission for Design Review on December 11, 2019.

Feedback given to applicant only, no action taken.

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT REPORT.

Community & Economic Development Director Elms reported that Commissioner Dees resigned effective today due to health concerns, staff will be looking to fill the vacancy in District 2, thanked Mr. Dees for his service on the Planning Commission and wished him a speedy recovery, and spoke of upcoming public hearings for the next Planning Commission meeting including a Vesting Tentative Tract Map.

ADJOURNMENT: The meeting was adjourned at the hour of 6:36 p.m.

APPROVED:

John Cates, Chairperson

ATTEST:

Sandra Benetti, Planning Technician



City of
Los Banos
At the Crossroads of California

PLANNING COMMISSION STAFF REPORT

TO: CHAIRMAN CATES AND PLANNING COMMISSIONERS

FROM: RUDY LUQUIN, ASSOCIATE PLANNER *RL*

FOR: DECEMBER 11, 2019

SUBJECT: SITE PLAN REVIEW #2019-05 AND CONDITIONAL USE PERMIT #2019-05 - CROCKER'S LOCKERS STORAGE

RECOMMENDATIONS:

Staff requests that the Planning Commission open the public hearing, receive public comment, and consider the following actions:

1. Approve Resolution No. 2019-25, approving a Categorical Exemption from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects and approving Site Plan Review #2019-05 for the development of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013.; and
2. Approve Resolution No. 2019-26, approving a Categorical Exemption from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects and approving Conditional Use Permit #2019-05 for the use of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013.

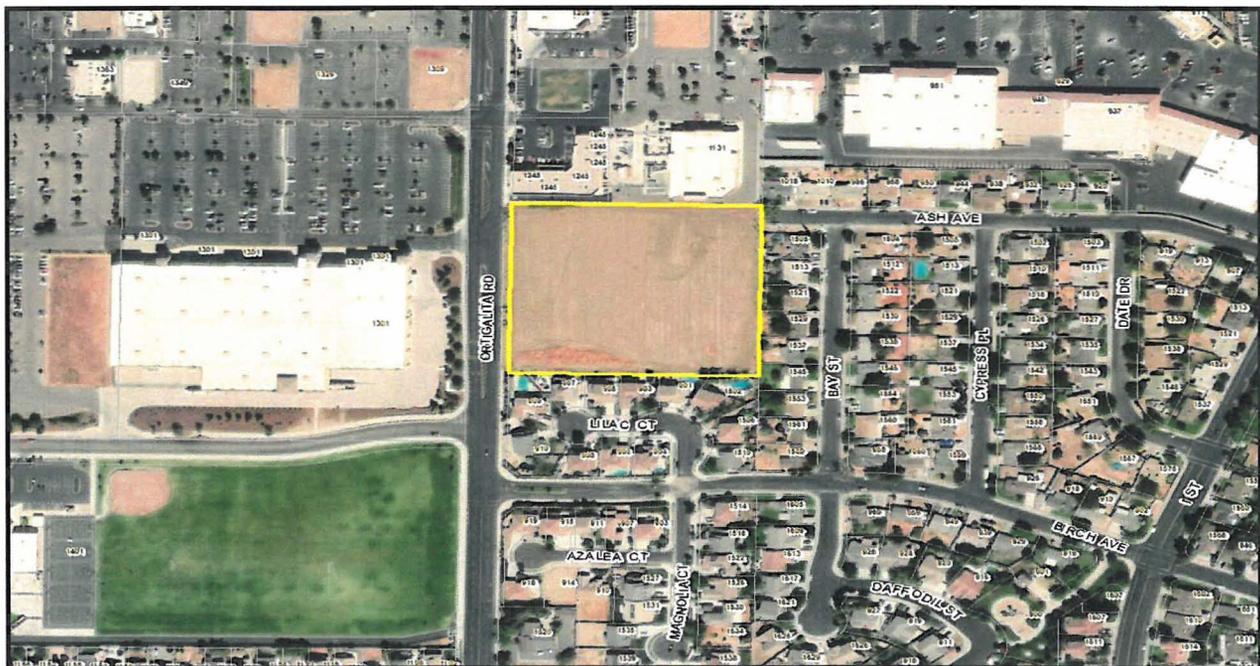
PROJECT DESCRIPTION:

The City of Los Banos Community and Economic Development Department is in receipt of an application request for a Site Plan Review and Conditional Use Permit

entitlements. The Site Plan Review application is for the proposed development of a self storage facility that will consist of seven (7) storage buildings and one (1) two story Manager's Building which will total to 125,900 square feet. The Conditional Use Permit that the applicant has applied for is to allow the development and use of the proposed self storage facility within the Highway Commercial Zoning District (H-C) as the proposed use and development are not permitted by right within the specified zoning district, a Conditional Use Permit, must be approved to allow the proposed use and development.

PROJECT LOCATION:

The project site is a vacant 5.01 acre interior parcel located within the Highway Commercial Zoning District, east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street. The proposed project site is surrounded by an existing commercial use to the west and north, and existing residential uses to the south and east.



LAND USE:

Property	Land Use	Zone	General Plan
Project site	Commercial	H-C	C
North	Commercial	H-C	C
South	Low Density Residential	R-1	LDR
East	Low Density Residential	R-1	LDR
West	Commercial	H-C	C

H-C = Highway Commercial
 R-1 = Low Density Residential

C = Commercial
 LDR= Low Density Residential

ENVIRONMENTAL ASSESSMENT:

Pursuant to the California Environmental Quality Act (CEQA) and the City of Los Banos Environmental Quality Guidelines, an Initial Study was prepared to identify and assess potential environmental impacts as a result of this project. Through the Initial Study, staff determined that the project would not result in any significant adverse effects and the project can be categorically exempt pursuant to Section 15332, In-Fill Development Projects.

PROJECT ANALYSIS:

Existing Setting

The proposed project site is a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street. The project site is surrounded by existing urban development consisting of residential development on the east and south, commercial development to the west and north. The topography of the project site is relatively flat. There is small vegetation located throughout the undeveloped project site. This vegetation will be removed as part of the development of the proposed project.

SITE PLAN REVIEW ANALYSIS:

Code Requirements

Pursuant to Section 9-3.2316(a) of the Los Banos Municipal Code, the Planning Commission shall review and evaluate a site plan for conformance with the applicable sections of the Code. Upon completion of the review and evaluation of a site plan review application, the Planning Commission shall either deny the site plan or shall grant or modify the site plan subject to reasonable conditions as may be imposed.

Project Design

The proposed project is for the development of a self storage facility on a vacant parcel that consists of eight (8) total structures. One building will serve as a managers building totaling to 2,360 square feet and will be a two story structure fronting Ortigalita Road. The development also proposes a "U" shaped structure that will be located on the outer perimeter that consists of three (3) buildings (Bldgs A, F, G) totaling to 36,840 square feet. The three (3) buildings (Bldgs C, D, E,) located within the U shaped building consist of the following sizes: 29,400 square feet, 26,600 square feet, and 19,100 square feet. It should be noted that the development may potential be done in phases in which Building E would be phased and while not developed the location of building E will be utilized as Recreational Vehicle and Boat parking. The remaining 11,600 square feet proposed self storage building (Bldg B) will be located on the Ortigalita Road frontage across from the two-story Manager's Building. The storage buildings are all proposed to be one story and the Manager's Building will be the only two-story structure of the development. The proposed project also consists of various improvements to the project site such as grading, paving, landscaping, and lighting. The Manager's Building will be located on the Ortigalita Road frontage. There is only one proposed access point for the development near the north west portion of the parcel to be located directly adjacent to the Manager's Building. There will be a secondary access at the south

western portion of the parcel dedicated to access for emergency vehicles, both access points are to be located on Ortigalita Road as the proposed project site is an interior lot. The proposed project also includes new improved paved surface for the parking lot with two (2) proposed ingress/egress points, landscaping, and exterior lighting.

The applicant has proposed a design that has some elements of the preferred architectural theme along the Pacheco Boulevard corridor, which is Spanish/ Mission. The proposed design of the structure will complement the commercial structures to the north and the shopping center to the west. The applicant has incorporated Spanish/ Mission architectural characteristics directly from the Community Design Standards such as thick walls, stucco walls, tower at the entrance of the self storage facility (managers building), tile accents at the base and certain elevations of the building, parapet roofs, ornamental wall trellises, and earth tone colors. The design also has some Agrarian characteristics consisting of the, faux wood siding, corrugated aluminum siding, and the multiform roof. The design also exhibits contemporary architecture through the use of a wide range of material combinations that emphasize the contrast yet display uniformity within the design.

The applicant is proposing to have a combination of three (3) earth tone colors. The proposed color patterns are compatible and consistent with the City of Los Banos preferred color palate and are also compatible to the existing commercial structures to the north.

The complete design of the structure will consist of metal parapet roofs, pre-finished metal parapets, various metal awnings at the entrance and windows of the building. The body of the structure will be composed of: stucco walls, faux wood tile walls, steel siding walls, various vertical trellises throughout the building to break up the long walls and varying heights of the proposed buildings.

The applicant is proposing seven (7') tall perimeter fencing wherever there are gaps in between proposed structures on the Ortigalita Road frontage. On the north, east, and south boundaries, the project will have concrete walls creating a barrier between the self-storage facility and the surrounding existing properties in those respective areas.

The architecture includes detailed site plans and elevations.

The site plan is designed with 5 off-street parking spaces with one (1) designated as handicap parking. Pursuant to Section 9-3.2004 of the Los Banos Municipal Code, the required off-street parking spaces are 2 minimum in regards to the proposed self storage use. One (1) additional parking space is required for every 200 square feet of office area. The proposed office is 654 square feet and thus would require three (3) additional parking spaces totaling to five (5) off-site parking spaces. Thus the proposed total of five (5) off-street parking spaces is consistent with the required amount pursuant to Los Banos Municipal Code Title 9 Article 20.

Land Use

The project site is designated as Commercial according to the Los Banos 2030 General Plan and is zoned Highway Commercial in consistency with the Los Banos Municipal Code. The approval of a Conditional Use Permit will allow for the development of the proposed self storage facility within the Highway Commercial Zoning District. The proposed self storage facility is consistent with the Los Banos 2030 General Plan and Los Banos Municipal Code through the approval of a Conditional Use Permit.

Landscape and Lighting

The applicant is proposing landscaping throughout the development, mainly along the street frontages, proposed parcel lines, and parking lot. The landscape plan consists of five (5) tree species totaling to 46 planted trees, two (2) tall shrubs species and five (5) shrubs species totaling to 35 combined shrubs planted, one (1) vine species totaling to five (5) vines planted, and eight (8) ground cover species totaling eight (8) ground cover plants to be planted throughout the project site.

The proposed exterior lightening for the project will mainly consist of motion detecting LED exterior wall fixtures to be placed throughout the project site. The applicant has supplied a photometric plan within the proposed plan set.

Prior to issuance of any permits, the developer will be required to prepare a Landscape and Lighting Plan for the proposed subdivision in the public right of way. The landscape plan will be designed in accordance with the City's "Water Efficient Landscape Ordinance" and the photometric plan will include a Lumen Dispersion Map and comply with the City of Los Banos Standards and Specifications. Maintenance of the landscape and lighting areas will be financed through a Landscape and Lighting District. The developer will be required to form or annex to an existing Landscape and Lighting District.

Circulation

A traffic study was not warranted for this project. The project will not impact circulation as the proposed project will not create amounts of traffic that will significantly impact the surrounding area. The proposed project consists of a self storage facility, which historically does not create high traffic volumes as patrons are not constantly and simultaneously visiting the self storage site. There are left turns allowed on Ortigalita Road on to the property and there will be left turns allowed to south bound Ortigalita Road traffic.

Infrastructure/Services

Water: The City of Los Banos would provide water service to the Project site. Water service would be provided off an existing water line on Ortigalita Road. The project will connect to the existing line with a domestic and landscape line to the project site. All

existing groundwater wells within the boundary of the map will be required to be abandoned to Merced County Standards. The project is subject to the provisions of the Los Banos Water Master Plan and will conform to its requirements including, but not limited to, payment of water impact fees.

Sewer: The City of Los Banos would provide wastewater service to the project site by connecting to an existing sewer line located on Ortigalita Road. Project build-out has been contemplated in the Wastewater Master Plans and will conform to its requirements including, but not limited to, payment of the wastewater impact fees.

Drainage: The City of Los Banos would provide storm water drain services by connecting to the City of Los Banos via an existing storm drain line located on Ortigalita Road, and installing storm water drain line in through the proposed project. A storm drain basin will be located to the south portion of the parcel on the project site. The basin has been sized to accommodate flow from the project area in accordance with the Storm Drain Master Plan.

It should be noted that all City infrastructure has been sized to accommodate this use and will be built in accordance with the City's Utility Master Plans

Signage

The applicant is proposing three (3) illuminated wall signs, and one (1) illuminated monument sign. Nonetheless, when the applicant does submit for a Sign Review, the signs shall be consistent with Highway Commercial Sign Standards according to Los Banos Municipal Code Title 9 Chapter 3 Article 28, Signs.

DESIGN REVIEW

Pursuant to Section 9-3.2818(a) of the Los Banos Municipal Code, the Los Banos Planning Commission held a study session on November 25, 2019, to provide the applicant with feedback early on in the design process. The Commission evaluated architectural elements, landscape and site treatment, and lighting elements as described in Section 9-3.2818(c) of the Los Banos Municipal Code.

The Planning Commission provided positive feedback on the proposed design submittal.

PROJECT REVIEW BOARD

The Project Review Board (PRB) reviewed the project proposal on November 26, 2019, for these aspects

- Building layout;
- Location;
- Orientation of all new and existing structures and the relationship to one another and surrounding properties

- Methods of landscape irrigation;
- Location and design of facilities for physically disabled persons;
- Location of fencing and other screening;
- Location and screening of refuse facilities;
- Traffic circulation on-site and off-site;
- Pedestrian and bicycle circulation and safety;
- Arrangement of off-street parking and loading facilities;
- Location and intensity of all onsite lighting; and
- Provision of municipal and public services.

The PRB has provided a positive recommendation for the development of the proposed project with conditions of approval incorporated into the project.

FINDINGS FOR APPROVAL:

The Planning Commission shall approve a Site Plan if it makes all of the following findings specified in the Municipal Code. The Planning Commission shall consider and evaluate those aspects of the project described in Section 9-3.2317(b) and 9-3.2318(c). In approving a site plan, the Planning Commission shall make the following findings before approving a site plan:

1. That the proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the City Council.
 - a. *The General Plan land use designation for the project site is Commercial, which allows large-scale commercial developments that serve both residents, visitors, and the surrounding region. Examples of the Commercial land use include; shopping centers, large-format retail, auto sales and travel-related services such as hotels, gas stations and restaurants. These uses typically require excellent access to freeway interchanges.*

The applicant has applied for a Conditional Use Permit which will allow for the proposed development.

The following specific General Plan Goals, Objectives, and Policies are applicable to the proposed project:

ECONOMIC DEVELOPMENT POLICY ED-G-1:

Help create jobs and improve job quality for existing and future Los Banos residents.

ECONOMIC DEVELOPMENT POLICY ED-G-3:

Make Los Banos an ideal place to do business by fostering a business friendly climate.

ECONOMIC DEVELOPMENT POLICY ED-G-7:

Seek and promote particular businesses or economic opportunities that provide needed local goods, services, employment, or those that enhance the City's physical and social well being.

LAND USE POLICY LU-G-1:

Promote a sustainable, balanced land use pattern that satisfies existing needs and safeguards future needs of the City.

Evidence/Analysis: *Through the approval of the Conditional Use Permit the project is consistent with the General Plan Commercial land use designation. The proposed self storage facility would create some employment opportunities for the community and the creation of new business fosters economic development and business vitality.*

- b. *The zoning designation for the project site is Highway Commercial (H-C). The purpose of the Highway Commercial Zoning District is to provide a district for commercial uses which do not specialize in serving the pedestrian shopper but rather, because of character, are more appropriately located along a highway or major street and where drive in operations are more feasible. Although, with the approval of the Conditional Use Permit, the proposed development will be consistent with the zoning.*

Evidence/Analysis: *The proposed project is located within the Highway Commercial Zoning District; however, with the approval of a Conditional Use Permit, the proposed project will be consistent with the Highway Commercial Zoning District as deemed appropriate by the Planning Commission.*

2. That the design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion.

Evidence/Analysis: *The proposed use is surrounded by residential development and uses on the east and south, commercial development and uses to the west and north of the project site. The proposed self storage facility development will*

be compatible with the existing area with the approval of the Conditional Use Permit. The proposed project will not create significant amounts of traffic to the area as storage facilities are not high traffic areas and patrons visit these sites sparingly. The proposed use and development will not create such traffic patterns to provoke significant traffic impacts.

3. That the design of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by this ordinance and the general plan of the City.

Evidence/Analysis: The proposed design of the development, which is consistent with the Los Banos Community Design Standards; also the colors for the structures will be earth tone colors which are City preferred colors. The design of the structure will also be compatible in character with the surrounding commercial structures in the area, more in particular with the shopping center to the immediate north.

4. That the design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

Evidence/Analysis: The design of the proposed self storage facility is consistent with the Los Banos Community Design Standards and compatible with the shopping center to the immediate north and west of the project site. The proposed materials for the exterior of the proposed structures will be stucco, faux wood tiles, and corrugated steel siding. Various architectural elements throughout the development such as trellises, awnings, and stone veneer at the base of the structure. The proposed roofing will consist of metal parapets. The proposed colors are earth toned. The inclusive project will be aesthetically pleasing in regards to the composition, materials, textures, and colors of the development.

5. That the proposed use complies with all applicable requirements of the zoning district in which it is located and all other applicable requirements.

Evidence/Analysis: The proposed project and uses of the project are consistent with the Los Banos Municipal Code Title 9 Article 13 Highway Commercial Zoning District, Los Banos Municipal Code Title 9 Article 23 Use Permit, and the Los Banos 2030 General Plan Commercial land use designation, with the approval of a Conditional Use Permit the proposed use is granted but subject to applicable conditions.

6. That the overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare.

Evidence/Analysis: The comprehensive design of the proposed self storage facility conforms to good planning in that the physical design elements are compatible to surrounding commercial structures and consistent with the Los Banos Community Design Standards.

USE PERMIT ANALYSIS

Code Requirements

Pursuant to Section 9-3.2322 of the Los Banos Municipal Code, before any Conditional Use Permit may be granted, the Planning Commission shall make the following findings:

1. That the proposed use and project is consistent with the City of Los Banos General Plan, and Los Banos Municipal Code;
 - a. The existing General Plan land use designation for the project site is Commercial, which allows for large-scale commercial developments that serve both residents, visitors, and the surrounding region. Examples of this land use include; shopping centers, large-format retail, auto sales, and travel-related services such as hotels, gas stations, and restaurants. These uses typically require excellent access to freeway interchanges.

The following specific General Plan Goals, Objectives, and Policies are applicable to the proposed project:

ECONOMIC DEVELOPMENT POLICY ED-G-7:

Seek and promote particular businesses or economic opportunities that provide needed local goods, services, employment, or those that enhance the City's physical and social well being.

Evidence/Analysis: The proposed self storage facility will help physically and socially serve the needs of the community at large. In addition, the project would also be consistent with General Plan land use policies as set forth above.

- b. *The zoning designation for the project site is Highway Commercial (H-C). The purpose of the Highway Commercial Zoning District is to provide a district for commercial uses which do not specialize in serving the pedestrian shopper but rather, because of character, are more appropriately located along a highway or major street and where drive in operations are more feasible.* Nevertheless, the proposed use is not permitted by right and required to be permitted upon the approval of a Conditional Use Permit.

Evidence/Analysis: The proposed use complies with the Los Banos Municipal Code upon the approval of the applied Conditional Use Permit. The proposed use is also less intensive than permitted uses in the Highway Commercial Zoning District.

2. That the proposed use or project will not be a nuisance or detrimental to the public health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use;

The proposed self storage facility will be less intensive than most of the permitted uses with the Highway Commercial Zoning District. Conditions of approval have been incorporated into the project to ensure the business is not a nuisance or detrimental to the neighborhood.

3. That the proposed use is compatible with the adjacent uses, properties and neighborhoods and will not be detrimental or injurious to property and improvement in the neighborhood or to the general welfare of the City.

The proposed self storage use will be less intensive than most of the permitted uses within the Highway Commercial Zoning District. This specific use is compatible to the zoning district in that the self storage facility resulting from the proposed use will be positively conducive with new in-fill development along the Ortigalita Road corridor. The office to the self storage facility is proposed to operate Monday through Saturday 9:00 am to 6:00 pm and Sundays from 10:00 am until 4:00 pm. The gate hours will be from 6:00 am until 9:00 pm daily. Conditions of approval have been incorporated into the project to ensure the operation of the self storage is not detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City.

PUBLIC COMMENT:

A public hearing notice was published in the Los Banos Enterprise and notices were mailed out to property owners within a 300' radius of the Project site on November 29, 2019. As of the date of this report no comments have been received.

RECOMMENDATION:

1. Approve Resolution No. 2019-25, approving a Categorical Exemption from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects and approving Site Plan Review #2019-05 for the development of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013.; and

2. Approve Resolution No. 2019-26, approving a Categorical Exemption from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects and approving Conditional Use Permit #2019-05 for the development of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013.

ATTACHMENTS:

1. Resolution 2019-25
 - Exhibit A: CEQA Findings
 - Exhibit B: Findings for Approval
 - Exhibit C: Conditions of Approval
2. Resolution 2019-26
 - Exhibit A: CEQA Findings
 - Exhibit B: Findings for Approval
 - Exhibit C: Conditions of Approval
3. Site Photos
4. Site Plan/ Elevations
5. Gilroy Photos
6. Public Hearing Notice – November 29, 2019

RESOLUTION #2019-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS BANOS APPROVING A CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15332, IN-FILL DEVELOPMENT PROJECTS AND APPROVING SITE PLAN REVIEW #2019-05 FOR THE DEVELOPMENT OF A SELF STORAGE FACILITY TOTALING 125,900 SQUARE FEET TO BE DEVELOPED ON A VACANT 5.01 ACRE PARCEL LOCATED EAST OF ORTIGALITA ROAD, SOUTH OF PACHECO BOULEVARD AND NORTH OF BIRCH STREET; MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBERS: 431-141-013

WHEREAS, the Los Banos General Plan was adopted in July 2009, and is the guiding document for land use in the City of Los Banos; and

WHEREAS, the subject property has a land use designation of Commercial pursuant to the Los Banos General Plan and is zoned Highway Commercial (H-C) by the Los Banos Zoning Map; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA) and the City of Los Banos Environmental Quality Guidelines, Site Plan Review #2019-05 for Crocker's Lockers Storage was determined to be categorically exempt from the provisions of CEQA pursuant Article 19, Class 32, Section 15332 In-Fill Development Projects as the project site qualifies for in-fill development project; and

WHEREAS, a public hearing was duly noticed for December 11, 2019, in accordance with California Government Code Section 65091 by advertisement in the Los Banos Enterprise and by mail to property owners within 300 feet of the project boundaries on November 29, 2019 to consider and take testimony regarding Site Plan Review #2019-05; and

WHEREAS, at the December 11, 2019 Planning Commission meeting the Los Banos Planning Commission heard and considered testimony, if any, of all persons desiring to be heard; reviewed the Project Site Plan and staff report; studied the compatibility of the applicant's request with adjacent land uses; has considered the applicant's request in accordance with the Site Plan criteria established in Section 9-3.2320 of the Los Banos Municipal Code; and

BASED UPON THE EVIDENCE PRESENTED AT THE PUBLIC HEARING, the

Planning Commission of the City of Los Banos does hereby make the findings set forth in Exhibit A (CEQA Findings), and Exhibit B (Findings of Approval), attached hereto and incorporated herein by this reference.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Los Banos does hereby approve a Categorical Exemption from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects and approving Site Plan Review #2019-05 for the development of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013, subject to the Conditions of Approval set forth in Exhibit C attached hereto and incorporated herein by this reference.

The foregoing resolution was introduced at a regular meeting of the Planning Commission of the City of Los Banos held on the 11th day of December 2019, by Commissioner _____, who moved its adoption, which motion was duly seconded by Commissioner _____, and the Resolution is hereby adopted by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

John Cates, Planning Commission Chair

ATTEST:

Sandra Benetti, Planning Commission Secretary

EXHIBIT A

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS FOR SITE PLAN REVIEW #2019-05 – CROCKER’S LOCKERS STORAGE

Pursuant to the requirements of California Public Resources Code Section 21000 et seq. (“CEQA”) and Title 14, California Code of Regulations Section 15000 et seq. (the “CEQA Guidelines”), the City as Lead Agency under CEQA adopts the following findings required by CEQA, along with the facts and evidence upon which each finding is based.

The City of Los Banos Planning Commission hereby finds as follows:

1. Pursuant to CEQA, the CEQA Guidelines, and the City of Los Banos Environmental Quality Guidelines, Site Plan Review #2019-05 was evaluated and determined to be categorically exempt pursuant to Article 19, Class 32, Section 15332 In-Fill Development Projects as the comprehensive project qualifies as an in-fill development project as determined in the Initial Study and further elaborated in the Notice of Exemption..
2. Site Plan Review #2019-05 was adequately noticed on December 29, 2019, for consideration at a public meeting on December 11, 2019.
3. No further environmental documentation is required as the Site Plan Review was contemplated and adequately analyzed in the initial review.
4. Prior to considering the proposed Project, the Planning Commission considered the Categorical Exemption.

EXHIBIT B

FINDINGS FOR APPROVAL OF SITE PLAN #2019-05 – CROCKER’S LOCKERS STORAGE

The City of Los Banos Planning Commission hereby finds as follows:

1. That the proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the City Council.
 - a. The General Plan land use designation for the project site is Commercial, which allows large-scale commercial developments that serve both residents, visitors, and the surrounding region. Examples of this land use include: shopping centers, large-format retail, auto sales, and travel related services such as hotels, gas stations, and restaurants. These uses typically require excellent access to freeway interchanges.

The following specific General Plan Goals, Objectives, and Policies are applicable to the proposed project:

ECONOMIC DEVELOPMENT POLICY ED-G-1:

Help create jobs and improve job quality for existing and future Los Banos residents.

ECONOMIC DEVELOPMENT POLICY ED-G-3:

Make Los Banos an ideal place to do business by fostering a business friendly climate.

ECONOMIC DEVELOPMENT POLICY ED-G-7:

Seek and promote particular businesses or economic opportunities that provide needed local goods, services, employment, or those that enhance the City’s physical and social well being.

LAND USE POLICY LU-G-1:

Promote a sustainable, balanced land use pattern that satisfies existing needs and safeguards future needs of the City.

Evidence/Analysis: Through the approval of the Conditional Use Permit the project is consistent with the General Plan Commercial land use designation. The proposed self storage facility would create some

employment opportunities for the community and the creation of new business fosters economic development and business vitality.

- b. *The zoning designation for the project site is Highway Commercial (H-C). The purpose of the Highway Commercial Zoning District is to provide a district for commercial uses which do not specialize in serving the pedestrian shopper but rather, because of character, are more appropriately located along a highway or major street and where drive in operations are more feasible. Although, with the approval of the Conditional Use Permit, the proposed development will be consistent with the zoning.*

Evidence/Analysis: *The proposed project is located within the Highway Commercial Zoning District; however, with the approval of a Conditional Use Permit, the proposed project will be consistent with the Highway Commercial Zoning District as deemed appropriate by the Planning Commission.*

2. That the design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion.

Evidence/Analysis: *The proposed use is surrounded by residential development and uses on the east and south, commercial development and uses to the west and north of the project site. The proposed self storage facility development will be compatible with the existing area with the approval of the Conditional Use Permit. The proposed project will not create significant amounts of traffic to the area as self storage facilities are not high traffic areas and patrons visit these sites sparingly.*

3. That the design of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by this ordinance and the general plan of the City.

Evidence/Analysis: *The proposed design of the development is consistent with the Los Banos Community Design Standards and the colors for the structures will be earth tones which are City preferred colors. The design of the structure will also be compatible in character with the surrounding commercial structures in the area, more in particular with the shopping center to the immediate north and west.*

4. That the design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

Evidence/Analysis: The design of the proposed self storage facility is consistent with the Los Banos Community Design Standards and compatible with the shopping center to the immediate north and west of the project site. The proposed materials for the exterior of the proposed structures will be stucco, faux wood tiles, and corrugated steel siding. Various architectural elements throughout the development such as trellises, awnings, and stone veneer at the base of the structure. The proposed roofing will consist of metal parapets. The proposed colors are earth toned. The inclusive project will be aesthetically pleasing in regards to the composition, materials, textures, and colors of the development.

5. That the proposed use complies with all applicable requirements of the zoning district in which it is located and all other applicable requirements.

Evidence/Analysis: The proposed project and uses of the project are consistent with the Los Banos Municipal Code Title 9 Article 13 Highway Commercial Zoning District, Los Banos Municipal Code Title 9 Article 23 Use Permit, and the Los Banos 2030 General Plan Commercial land use designation, with the approval of a Conditional Use Permit the proposed use is granted but subject to applicable conditions.

6. That the overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare.

Evidence/Analysis: The comprehensive design of the proposed self storage facility conforms to good planning in that the physical design elements are compatible to surrounding commercial structures and consistent with the Los Banos Community Design Standards.

EXHIBIT C

CONDITIONS OF APPROVAL FOR SITE PLAN #2019-05 – CROCKER’S LOCKERS STORAGE

Planning:

1. The followings Conditions of Approval shall apply to and be applicable to the applicant, property owner, and/or developer. Reference to applicant, property owner, and/or developer shall be interpreted to include all including the holder of a building permit or other permit issued by the city in connection with this project. These conditions shall run with the land and shall survive the issuance of an occupancy permit.
2. This Site Plan shall expire if an application for a building permit is not applied for within 24 months from date of approval. One six-month extension may be allowed by written request submitted to and approved by the Community and Economic Development Director.
3. Subject to and in addition to the conditions of approval set forth herein the development and construction of all improvements for the Project shall substantially conform to the conditionally approved Site Plan approved by the Planning Commission consisting of the site plan layout, exterior elevations, landscape plan, floor plan, and color renderings (herein after “site plan”). The applicant shall submit a revised Site Plan to the Community and Economic Development Department reflecting any modifications, additions, and conditions of approval approved by the Planning Commission within 30 days from Planning Commission approval. Said revised Site Plan shall be reviewed by the Community and Economic Development Department and stamped “conditionally approved” for purposes of providing a clear record of the approved Site Plan.
4. Full compliance with all conditions of approval shall be satisfied prior to issuance of any certificate of occupancy. Any proposed modifications to the approved Site Plan during construction and after issuance of occupancy permit shall require approval by the Community and Economic Development Director or Planning Commission as appropriate.
5. Any application for a building permit shall be reviewed by the Community and Economic Development Department for a determination as to whether such application conforms to the prior design and site development review approval by the Planning Commission.

6. The applicant agrees to indemnify, hold harmless, and defend the City of Los Banos, its officers, agents and employees from any and all liability or claims that may be brought against the City of Los Banos arising out of its approval of this site plan, or the environmental determination rendered in connection with the site plan approval, or arising out of the operation of the use or uses allowed under the site plan, save and except that caused solely by the City's active negligence.
7. Construction shall be limited to those hours specified in Section 9-3.2706 of the Los Banos Municipal Code: Monday through Friday from 7:00 am to 9:00 pm; Saturday and Sunday from 8:00 am to 5:00 pm.
8. The applicant shall comply with all requirements of other appropriate governmental agencies.
9. The applicant shall meet all requirements of the currently adopted edition of the California Building, Fire, and City of Los Banos Municipal Codes in effect at time of the building permit application.
10. The applicant shall comply with the Americans with Disabilities Act (ADA) requirements in the design, construction and maintenance of this project.
11. The applicant shall provide a copy of the conditions of approval to all contractors and subcontractors prior to commencement of construction.
12. During construction, and for safety purposes, the public right-of-way shall be kept clear of obstructions and shall be cleaned on a daily basis.
13. The applicant shall require and all contractors and subcontractors shall obtain a City of Los Banos Business License, prior to start of work on the project. All work performed on the project shall comply with the requirements of the California Business and Professions Code.
14. The applicant shall obtain any necessary encroachment permits from the City prior to performing any work within that jurisdiction's right-of-way.
15. All structures, foundations, and footings for buildings on the project site shall be designed and constructed to conform to the current California Building Code, including amendments adopted by the City.
16. An engineering soils report shall be prepared in order to identify soil characteristics requiring special structural design. On-site and off-site structural design shall conform to the findings and recommendation of the engineering soils report. The report shall be prepared prior to issuance of a grading permit, subject to review and written approval by the City Engineer.
17. A minimum 200-foot separation shall be maintained between the public right-of-way and material stockpiles, debris piles, or containers and equipment storage during the construction process. If such storage must be located within 200 feet of the public right-of-way, a six-foot high opaque fence shall shield the storage

area from view when the storage area is inactive for more than eight hours. This requirement shall be incorporated into the specifications for all construction plans, subject to review and written approval by the Community and Economic Development Department.

18. During construction activities, all food-related trash items shall be enclosed in sealed containers and regularly removed from the project site to avoid attracting wildlife to the project site. Pets shall not be allowed on the construction site. The proper location of the trash containers shall be subject to the review and written approval of the Community and Economic Development Department.
19. Prior to placement of combustible materials on the site, two points of all-weather access, at least one paved, shall be provided, to the satisfaction and written approval of the Fire Chief.
20. Temporary construction trailers shall be permitted only in areas immediately adjacent to or within that portion of the Site Plan where active construction is taking place. Placement of said construction trailer is subject to the written approval of the Community and Economic Development Director and shall be removed in accordance with Title 9, Chapter 3, Article 39 Temporary Use Ordinance of the Los Banos Municipal Code. The Project site shall be controlled of weeds and free of debris and litter. The applicant shall provide protection against wind and water soil erosion.
21. The development site shall be controlled of weeds and free of debris and litter. The applicant shall provide protection against wind and water soil erosion.
22. Due to the possibility that significant buried cultural resources might be found during construction, the following language shall be included in any permits issued for the project site, including, but not limited to building permits for future development, subject to the review and approval of the Los Banos Community Development Department:

“If archaeological resources or human remains are discovered during construction, work shall be halted from the find and the area shall be staked off. The project developer shall notify a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented.”
23. In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the City shall ensure that this language is included in all permits in accordance with CEQA Guidelines section 15064.5(e):

“If human remains are found during construction there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the Los Banos Police Department contacts the coroner of Merced County to determine that no investigation of the cause of death is required. If the coroner determines

the remains to be Native American, the coroner shall contact the Native American Heritage Commission within 24 hours. The Native American Heritage Commission shall identify the person or persons it believes to be the most likely descendent from the deceased Native American. The most likely descendent may then make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and associated grave goods as provided in Public Resources Code Section 5097.98. The landowner or his authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance if: a) the Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 24 hours after being notified by the commission; b) the descendent identified fails to make a recommendation; or c) the landowner or his authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.”

24. The Project site shall be kept in a dust-free condition during construction of the project in. Prior to issuance of a building permit, dust control requirements shall be included in all construction contract specifications to reduce significant levels of construction-related hazardous air emissions.

- a. All disturbed areas, including storage piles, which are not being actively utilized for construction purposes, shall be effectively stabilized of dust emissions using water, chemical stabilizer/suppressant, or vegetative ground cover.
- b. All on-site unpaved roads and off-site unpaved access roads shall be effectively stabilized of dust emissions using water or chemical stabilizer/suppressant.
- c. All land clearing, grubbing, scraping, excavation, land leveling, grading, and cut and fill activities shall be effectively controlled of fugitive dust emissions utilizing application of water or by presoaking.
- d. When materials are transported off-site, all material shall be covered, effectively wetted to limit visible dust emissions, or at least six inches of freeboard space from the top of the container shall be maintained.
- e. All operations shall limit or expeditiously remove the accumulation of mud or dirt from adjacent public streets at least once every 24 hours when operations are occurring. (The use of dry rotary brushes is expressly prohibited except where preceded or accompanied by sufficient wetting to limit the visible dust emissions. The use of blower devices is expressly forbidden.)

- f. Following the addition of materials to, or the removal of materials from, the surface of outdoor storage piles, said piles shall be effectively stabilized of fugitive dust emissions utilizing sufficient water or chemical stabilizer/suppressant.
25. Prior to issuance of building permits, the developer/applicant shall include the following requirements in all construction bids and documents including contracts (and implemented during construction activities) for the purpose of reducing diesel particulate and acrolein emissions during construction of the project:
 - a. All pre-1994 model year and older diesel equipment shall be retrofitted with EPA-certified diesel oxidation catalyst filters;
 - b. Contractor shall maintain records of all purchases of diesel oxidation catalyst filters or biodiesel fuel until construction is complete; and
 - c. The SJVAPCD shall have the right to inspect all construction and demolition equipment, as well as the contractor's records at any time during demolition and construction.
26. The Project site shall include a bicycle rack. Size and location shall be approved by the Community and Economic Development Director.
27. All development impact fees shall be paid in full prior to occupancy and as a condition of issuance of an occupancy permit. The developer shall provide a receipt from the Los Banos Unified School District for all applicable school impact fees.
28. The Applicant will take reasonable steps to preserve all survey monuments. The Applicant is responsible for the preservation of survey monuments within the work area under this permit at Applicant's sole expense. If any monuments are disturbed, the Applicant is responsible for re-establishing the monuments upon completion of the permitted work. Re-establishing of monuments shall be performed by a duly licensed land surveyor and a corner record shall be filed in accordance with State law at Applicant's sole expense.
29. All Community and Economic Development processing and application fees shall be paid in full prior to the issuance of a building permit.
30. The property is subject to the Summitt Reimbursement Agreement for development of Well No. 11 and intersection improvements at State Highway 152 and Badger Flat Road which benefit APN: 431-141-013 and shall be made payable to the City of Los Banos prior to issuance of a building permit.

Utilities and Drainage:

31. Subject to the review and approval of the Los Banos Public Works Department, project improvement plans shall include Best Management Practices (BMPs) to reduce the introduction of oils and other contaminants to the Los Banos storm water drainage system and main canal. Water quality safeguards shall be installed prior to occupancy of the parking lots. A water quality Best Management Practices plan shall be implemented upon occupancy.
32. A trash enclosure shall be built according to City specifications; colors, materials, and textures matching those of the main building, and provide for recycling services within. A concrete apron is required across the width of the trash enclosure opening that shall extend a minimum depth of ten feet in front of the opening. The location shall be specifically shown on the improvement plans and approved by the Community and Economic Development Director. The trash enclosure shall be large enough to accommodate the solid waste and recyclables. The trash bins shall have lids and the enclosure must be properly screened. The enclosure needs to follow City Standards and Specifications as well as Republic Services Standards.
33. The rear six (6') foot buffer between Building F and the property line adjacent to the residential properties on Bay Street shall have asphalt or concrete for prevention of weed and/or vegetation growth along with valley gutter for adequate drainage.
34. The placement of Building F shall not be within the suggested PG&E easement in regards to the existing utility poles at the rear of the property.
35. The utility poles located at the Ortigalita Road frontage shall be undergrounded.

Landscape and Lighting:

36. All ground and rooftop mounted electrical, plumbing and mechanical equipment shall be screened from view of the public right-of-way by continuous parapet wall or landscaping or combination thereof.
37. All outdoor lighting shall be LED.

Signage:

38. A Sign Review application, consistent with the provisions of the City's Sign Ordinance shall be submitted to the Community and Economic Development Department for review prior to the issuance of a building permit.
39. All advertising signage shall be subject to Sign Review and permit approval from both the Community and Economic Development and Building Departments, prior to installation, consistent with the development criteria of the Los Banos Municipal Code Sign Ordinance.

Design/Aesthetics:

40. The design of the improvements shall be conforming to the approved site plan. Any significant changes in color or architecture (i.e. paint, texture, material) shall require prior written approval by the Community and Economic Development Director or Planning Commission approval. The applicant shall maintain the color as presented in the site plan for the life of the project. Any changes to the site plan as to color or architecture shall require prior written approval by the Community and Economic Development Director or Planning Commission. This condition shall run with the land and be binding on successors in interest and shall be applicable beyond the issuance of an occupancy permit.
41. Downspouts shall be located within the building walls or architecturally integrated into the design and color of the structures, and there shall be no drainage across the public access ways or across the public right-of-way.
42. All rooftop mechanical equipment and appurtenances shall be screened from view from the public right-of-way and adjacent properties.

Fire Department

43. There shall be a fire control room, which shall have an exterior access door only and be large enough to accommodate the fire riser and fire alarm annunciator panel.
44. There shall be a permanent sign on the exterior of the fire control room stating "Fire Control Room".
45. There shall be HVAC smoke detector test and reset switches in the fire control room.
46. Maintain clear access to Fire Department Connections (FDC's).
47. FDC location shall be approved by the Fire Chief.
48. Fire lines shall be installed as a loop system.
49. Hydrant Locations shall be indicated on Final Improvement Plan.
50. The fire system back flow unit shall be hydro tested.
51. All fire lane curbs on the project site shall be painted.
52. There shall be a main electrical disconnect located on the exterior of the building and clearly labeled for Fire Department use only.

53. Commercial grade Knox Boxes with Click 2 Enter access shall be required on the exterior of the building for each tenant in the area of all gate entrances. Applications can be obtained through the Fire Department. The Knox Boxes shall have FDC locking caps.
54. A fire alarm control panel shall be located within the fire control room. A minimum of one (1) pull station and one (1) audio visual station shall be provided within 5' of the front entrance. The fire alarm system shall be plan checked and approved by the Los Banos Fire Department. These plans shall be through deferred submittal to the Fire Department.
55. Deferred submittals shall be provided to the Fire Department regarding Fire Alarm Improvements and Fire Protection System
56. The development shall be required to follow National Fire Protection Association (NFPA) Section Numbers 58-6.5 and 58-6.6.
57. All buildings shall include a fire suppression system.
58. All buildings shall have full occupant notification.
59. Fire Suppression System and Fire Alarm plans shall be submitted to the Los Banos Fire Department.

Public Works

60. The developer/applicant shall prepare improvement plans (separate from the building plans) submitted to the Public Works Department for the entire site and plans shall be approved by the City Engineer prior to the start of any site work. Included in those improvement plans shall be, but not limited to, topography, site, grading and drainage, utilities, circulation striping and signage, landscape, on and offsite lighting (street frontage), and offsite improvements. These improvements shall be installed per City of Los Banos Standards.
61. The existing water lines shall be shown on the improvement plans and the proposed building shall not be allowed to be built over the existing water line.
62. Full landscape plans per the City's landscape ordinance shall be submitted with the improvement plans, including 50% shade requirement.
63. All frontage improvement as per City standards. These improvements include undergrounded existing utilities along the streets.
64. A Storm Water Pollution Prevention Plan (SWPPP) shall be generated if the property is greater than 1-acre. In any case Construction and Post-Construction Best Management Practices (BMP's) shall be implemented to the City's MS-4 Phase II designation.

65. The developer/applicant shall prepare a grading and drainage plan prior to the issuance of a building permit. The grading and drainage plan shall be prepared per City standards and shall be approved by the City Engineer prior to the commencement of grading and work of any kind.
66. Storm drain, water main, and sanitary sewer main line improvements shall be installed by the developer/applicant per the City of Los Banos Utility Master Plans.
67. All development fees, including but not limited to all inspection fees, processing fees, landscape and light plan fees, and improvement plan fees shall be paid prior to issuance of the building permit.
68. Prior to occupancy, the Developer shall form or annex the Subject Property to a Lighting and Landscaping District created for purposes of maintaining public landscape areas, signage and public lighting including a share of traffic signal maintenance costs as authorized pursuant to the Landscape and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code, and Article XIIID of the California Constitution. The form, terms and conditions and the tax rate for the formation of the Lighting and Landscaping District, or in the alternative the annexation of the Subject Property to an existing district, shall be as approved by the City Council, as determined in its sole and exclusive discretion. It is the intent of the parties that the assessment of the Subject Property will be apportioned to each parcel in proportion to the special benefit it receives. District formation or annexation shall be at the sole cost of the Developer.
69. The following note shall be on all improvement plans: The Contractor shall be responsible for protecting and preserving survey monuments and other survey markers. Any survey monuments damaged as a direct result of construction activities shall be re-established by a duly licensed land surveyor at the Contractor's sole expense. A corner record shall be filed in accordance with State law for any reset monuments at the Contractor's sole expense.

Police Department

70. The applicant/operator shall have HD quality monitoring cameras with 4k/1080p resolution throughout the exterior of the facility at all times to the satisfaction and approval of the Police Chief. The applicant shall always maintain the surveillance equipment in working order and keep the video recordings for 30 days to be made available to law enforcement upon request.
71. The perimeter wall to Building A shall be landscaped to prevent potential graffiti problems.
72. **This approval is conditioned upon and shall be effective upon payment in full of all outstanding invoices pursuant to the Cost Recovery Contract.**

RESOLUTION No. 2019-26

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS BANOS APPROVING A CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15332, IN-FILL DEVELOPMENT PROJECTS AND APPROVING CONDITIONAL USE PERMIT #2019-05 FOR THE USE OF A SELF STORAGE FACILITY TOTALING 125,900 SQUARE FEET TO BE DEVELOPED ON A VACANT 5.01 ACRE PARCEL LOCATED EAST OF ORTIGALITA ROAD, SOUTH OF PACHECO BOULEVARD AND NORTH OF BIRCH STREET; MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBERS: 431-141-013

WHEREAS, Greystone Holdings LLC, has submitted an application for a Conditional Use Permit to allow the use and development of a self storage facility within the Highway Commercial Zoning District (H-C) located on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013; and

WHEREAS, a public hearing notice was advertised in the Los Banos Enterprise on November 29, 2019 and notices were mailed to property owners within a 300 foot radius of the project site as required by the Los Banos Municipal Code and Government Code Section 65091; and

WHEREAS, the Los Banos Planning Commission has held a public hearing, reviewed said Conditional Use Permit request and staff report, has studied the compatibility of the applicant's request with adjacent land uses and has considered this request in accordance with the Use Permit criteria established in Section 9-3.2322 of the Los Banos Municipal Code; and

WHEREAS, the project has been determined to be categorically exempt from the provisions of CEQA per Article 19, Section 15332 – In-Fill Development Projects.

BASED UPON THE EVIDENCE PRESENTED AT THE PUBLIC HEARING, the Planning Commission of the City of Los Banos hereby makes the

appropriate findings set forth in Exhibit A (California Environmental Quality Act (CEQA) Findings), and Exhibit B (Findings for Approval), attached hereto and incorporated herein by this reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Los Banos does hereby approve a Categorical Exemption from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects and approving Conditional Use Permit #2019-05 for the use of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013, subject to the Conditions of Approval set forth in Exhibit C, attached hereto and incorporated herein by this reference.

The foregoing resolution was introduced at a regular meeting of the Planning Commission of the City of Los Banos held on the 11th day of December 2019 by Planning Commissioner _____ who moved its adoption, which motion was duly seconded by Planning Commissioner _____, and the Resolution adopted by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

John Cates, Planning Commission Chair

ATTEST:

Sandra Benetti, Planning Commission Secretary

EXHIBIT A

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS FOR CONDITIONAL USE PERMIT #2019-05 – CROCKER’S LOCKERS STORAGE

Pursuant to the requirements of California Public Resources Code Section 21000 et seq. (“CEQA”) and Title 14, California Code of Regulations Section 15000 et seq. (the “CEQA Guidelines”), the City as Lead Agency under CEQA adopts the following findings required by CEQA, along with the facts and evidence upon which each finding is based.

The City of Los Banos Planning Commission hereby finds as follows:

1. Pursuant to CEQA, the CEQA Guidelines, and the City of Los Banos Environmental Quality Guidelines, Conditional Use Permit #2019-05 was evaluated and determined to be categorically exempt pursuant to Article 19, Class 32, Section 15332 In-Fill Development Projects as the comprehensive project qualifies as an in-fill development project as determined in the Initial Study and further elaborated in the Notice of Exemption.
2. Conditional Use Permit #2019-05 was adequately noticed on November 29, 2019, for consideration at a public meeting on December 11, 2019.
3. No further environmental documentation is required as the Site Plan Review was contemplated and adequately analyzed in the initial review.
4. Prior to considering the proposed Project, the Planning Commission considered the Categorical Exemption.

EXHIBIT B

FINDINGS FOR APPROVAL OF CONDITIONAL USE PERMIT #2019-05 – CROCKER’S LOCKER STORAGE

FINDINGS FOR APPROVAL:

The City of Los Banos Planning Commission hereby finds as follows:

- a. The existing General Plan land use designation for the project site is Commercial, which allows for large-scale commercial developments that serve both residents, visitors, and the surrounding region. Examples of this land use include; shopping centers, large-format retail, auto sales, and travel-related services such as hotels, gas stations, and restaurants. These uses typically require excellent access to freeway interchanges.

The following specific General Plan Goals, Objectives, and Policies are applicable to the proposed project:

ECONOMIC DEVELOPMENT POLICY ED-G-7:

Seek and promote particular businesses or economic opportunities that provide needed local goods, services, employment, or those that enhance the City’s physical and social well being.

Evidence/Analysis: The proposed self storage facility will help physically and socially serve the needs of the community at large. In addition, the project would also be consistent with General Plan land use policies as set forth above.

- b. *The zoning designation for the project site is Highway Commercial (H-C). The purpose of the Highway Commercial Zoning District is to provide a district for commercial uses which do not specialize in serving the pedestrian shopper but rather, because of character, are more appropriately located along a highway or major street and where drive in operations are more feasible. Nevertheless, the proposed use is not permitted by right and required to be permitted upon the approval of a Conditional Use Permit.*

Evidence/Analysis: The proposed use complies with the Los Banos Municipal Code upon the approval of the applied Conditional Use

Permit. The proposed use is also less intensive than permitted uses in the Highway Commercial Zoning District.

2. That the proposed use or project will not be a nuisance or detrimental to the public health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use;

The proposed self storage facility will be less intensive than most of the permitted uses with the Highway Commercial Zoning District. Conditions of approval have been incorporated into the project to ensure the business is not a nuisance or detrimental to the neighborhood.

3. That the proposed use is compatible with the adjacent uses, properties and neighborhoods and will not be detrimental or injurious to property and improvement in the neighborhood or to the general welfare of the City.

The proposed self storage use will be less intensive than most of the permitted uses within the Highway Commercial Zoning District. This specific use is compatible to the zoning district in that the self storage facility resulting from the proposed use will be positively conducive with new in-fill development along the Ortigalita Road corridor. The office to the self storage facility is proposed to operate Monday through Saturday 9:00 am to 6:00 pm and Sundays from 10:00 am until 4:00 pm. The gate hours will be from 6:00 am until 9:00 pm daily. Conditions of approval have been incorporated into the project to ensure the operation of the self storage is not detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City.

EXHIBIT C

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT #2019-05 – CROCKER'S LOCKERS STORAGE

Planning:

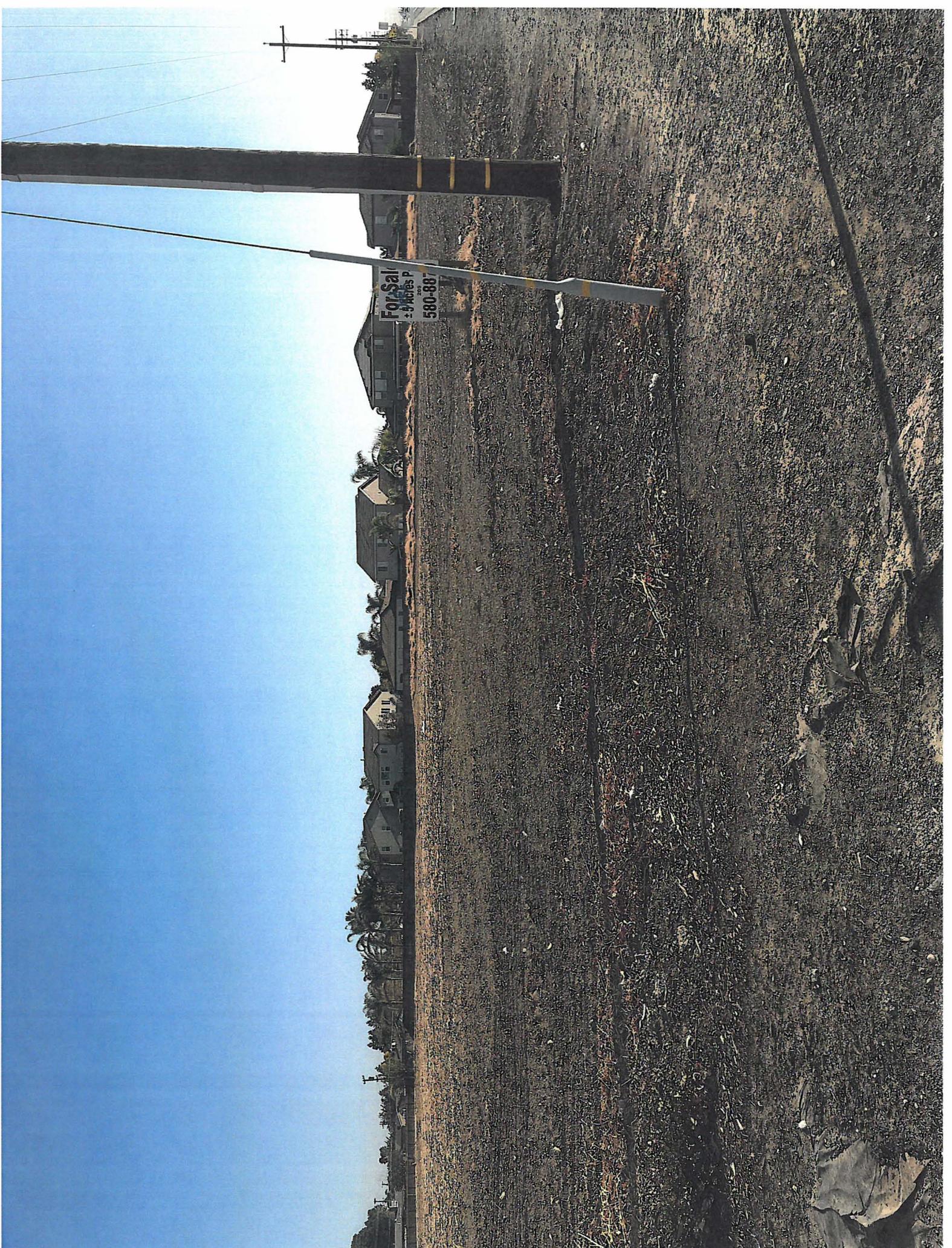
1. The following conditions of approval shall apply to and be applicable to the applicant, property owner, and/or operator. Reference to applicant, property owner, and/or operator shall be interpreted to include all. These conditions shall run with the land and shall survive the issuance of an occupancy permit.
2. Conditional Use Permit 2019-05 is for the use and development of a self storage facility consisting of seven (7) storage structures and one (1) two (2) story Manager's Building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013. If the requested use is not commenced within one (1) year from date of approval by the Los Banos Planning Commission this Conditional Use Permit shall lapse and become void. The City for cause may revoke this Conditional Use Permit. Any expansion, intensification, or changes to the uses approved under this Conditional Use Permit shall be permitted only upon modification of this Conditional Use Permit or approval of a separate Conditional Use Permit application.
3. Subject to and in addition to these conditions of approval for Conditional Use Permit #2019-05, the use shall substantially conform to the approved Conditional Use Permit including but not limited to the application on file with the Community and Economic Development Department, Staff Report, and Floor Plan.
4. The applicant shall comply with all applicable City ordinances, specified in the Municipal Code and other requirements, laws and policies of other governmental agencies in the conduct and operation of said business.
5. The Planning Commission reserves the right to review and/or revoke this permit should the City receive complaints or should the applicant not adhere to the Conditions of Approval. The City may amend or impose new conditions to mitigate adverse effects to the neighborhood.

6. The applicant agrees to indemnify, hold harmless, and defend the City of Los Banos, its officers, agents and employees from any and all liability or claims that may be brought against the City of Los Banos arising out of its approval of this permit, or the environmental determination rendered in connection with the permit approval, or arising out of the operation of the use or uses allowed under the permit, save and except that caused solely by the City's active negligence.
7. The premises shall be operated as a self storage facility as described and in conformance with the application prepared by the applicant and filed with the Community and Economic Development Department. Any new use or modification/expansion of uses shall be subject to the prior review and approval of the Planning Commission.
8. The premises of the subject site shall remain in compliance with the Conditions of Approval and shall not be operated in a manner that deviates from the approved conditional use permit or filed operational statement, which shall constitute a violation and may result in the revocation or modification of the permit upon written notice.
9. Authorization of a Conditional Use Permit granted pursuant to the provisions of Section 9-3.2322 of the Los Banos Municipal Code shall run with the land and shall continue to be valid upon change of ownership of the site or structure which was the subject of the use permit application provided the use shall be limited to all provisions of the Municipal Code and all conditions placed on approval of the Conditional Use Permit are continually met.
10. The applicant shall comply and adhere to all requirements set forth by the City of Los Banos Fire Department and Building Department prior to occupancy.
11. If the use is discontinued for a period of 12 months, this Conditional Use Permit shall lapse and become void.
12. The exterior of the premises, including adjacent public sidewalks and the parking lot areas (front and rear), shall be sufficiently illuminated during all hours of darkness when the premises are open for business in a manner so that persons accessing those areas at night are identifiable by law enforcement personnel.
13. This Conditional Use Permit shall be subject to revocation by the Community and Economic Development Director or the Planning Commission upon a finding that:

- a. Conditions of approval have not been fulfilled;
- b. A significant change or intensification of the approved use;
- c. The use has resulted in a nuisance or detriment to the public health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

14. This approval is conditioned upon and shall be effective upon payment in full of all outstanding invoices pursuant to the Cost Recovery Contract.





For Sale
+/- Acres P
580-887





SITE PLAN W/ PHASING

CROCKER'S LOCKERS SELF STORAGE, LOS BANOS

SINGLE FAMILY RESIDENTIAL

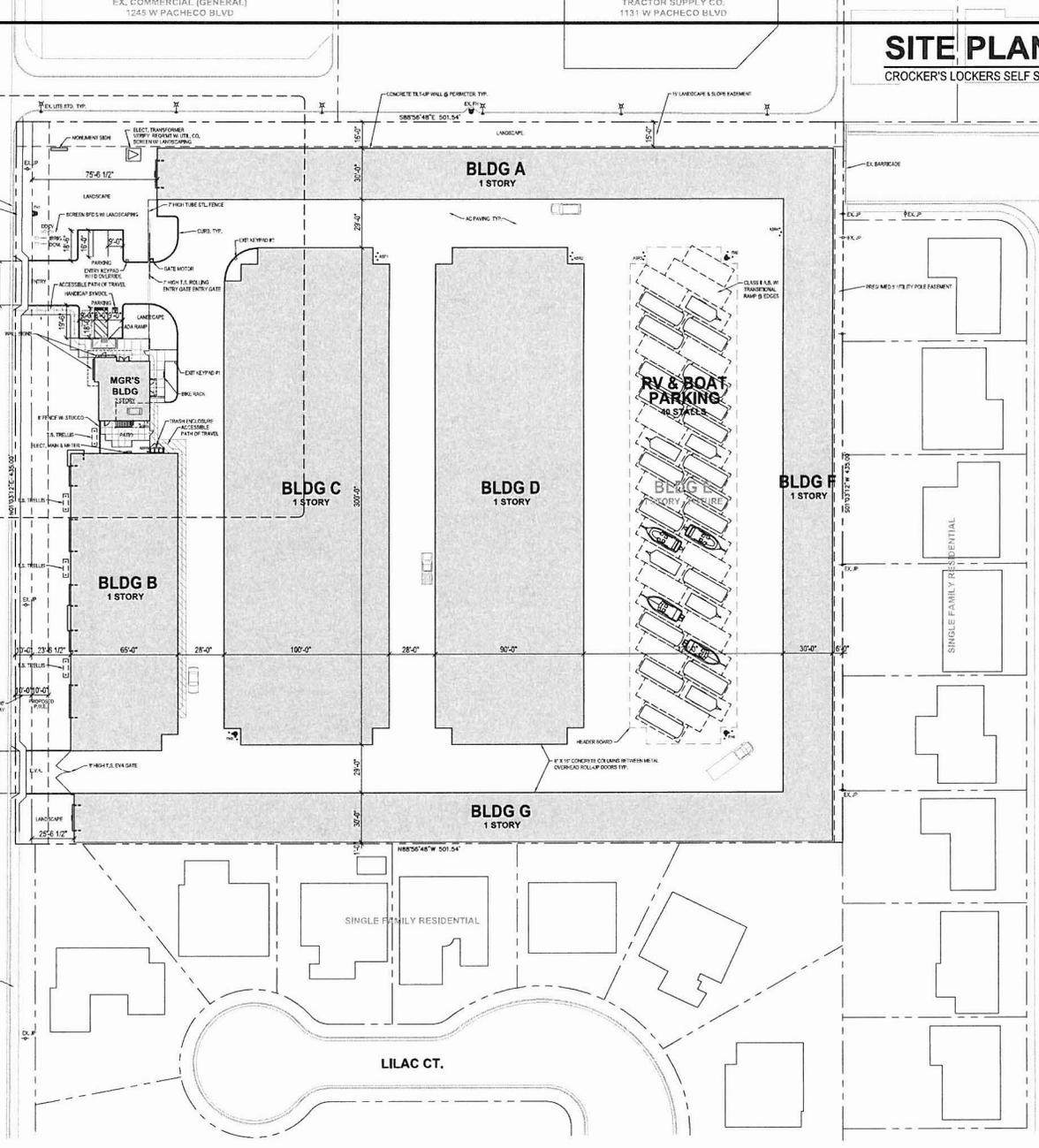
ASH AVE.

BAY ST.

LILAC CT.

PRAIRIESPRINGS DR.

SO. ORTIGALITA RD.



PROJECT DATA

1. SITE AREA - EXISTING	63.07 ACRES	208,115 S.F.		
2. SITE AREA - AFTER DEDICATION	6.81 ACRES	233,825 S.F.		
3. ADJACENT PARCEL #	431-141430-00			
4. GEA PLAN CORNO	100-100-000-000			
5. TOTAL BUILDOUT	PHASE 1	PHASE 2	PHASE 3	TOTAL
BLDG A (1-10)	100,000 S.F.	100,000 S.F.	100,000 S.F.	300,000 S.F.
BLDG B (1-10)	2,300 S.F.	2,300 S.F.	2,300 S.F.	6,900 S.F.
BLDG C (1-10)	28,000 S.F.	28,000 S.F.	28,000 S.F.	84,000 S.F.
BLDG D (1-10)	11,000 S.F.	11,000 S.F.	11,000 S.F.	33,000 S.F.
BLDG E (1-10)	28,000 S.F.	28,000 S.F.	28,000 S.F.	84,000 S.F.
BLDG F (1-10)	18,100 S.F.	18,100 S.F.	18,100 S.F.	54,300 S.F.
BLDG G (1-10)	13,446 S.F.	13,446 S.F.	13,446 S.F.	40,338 S.F.
BLDG H (1-10)	23,339 S.F.	23,339 S.F.	23,339 S.F.	70,017 S.F.
BLDG I (1-10)	748 S.F.	748 S.F.	748 S.F.	2,244 S.F.
BLDG J (1-10)	123 S.F.	123 S.F.	123 S.F.	369 S.F.
BLDG K (1-10)	106,622 S.F.	106,622 S.F.	106,622 S.F.	319,866 S.F.
BLDG L (1-10)	48,711 S.F.	48,711 S.F.	48,711 S.F.	146,133 S.F.
BLDG M (1-10)	14,739 S.F.	14,739 S.F.	14,739 S.F.	44,217 S.F.
BLDG N (1-10)	16,843 S.F.	16,843 S.F.	16,843 S.F.	50,529 S.F.
BLDG O (1-10)	618 S.F.	618 S.F.	618 S.F.	1,854 S.F.
BLDG P (1-10)	51 S8, 814 U	51,814 U	51,814 U	155,442 U
BLDG Q (1-10)	238' 10" R, 11'	238' 10" R, 11'	238' 10" R, 11'	714' 30" R, 33'

PROJECT DESCRIPTION

CONSTRUCT NEW SELF STORAGE FACILITY CONSISTING OF FIVE (5) - STORE STORAGE BLDGS AND A (1) - STORE MANAGER'S OFFICE WITH APARTMENT ABOVE.

TOTAL BUILDING AREA TO BE 1,050,000 S.F. TOTAL NUMBER OF SELF STORAGE UNITS TO BE 800.

PHASE 1 TO INCLUDE BLDG A AND STORAGE BLDGS A, B, C AND D. TOTALING 100,000 S.F.

PHASE 2 TO INCLUDE REMAINING OF THE REMAINING BLDG AND THIS PORTION OF BLDG E. TOTALING 13,446 S.F.

PHASE 3 TO INCLUDE REMAINING OF REMAINING BLDG AND THIS PORTION OF BLDG E. TOTALING 13,446 S.F.

BLDG F IS A SINGLE-FAMILY RESIDENTIAL BLDG TO BE CONSTRUCTED TO THE SOUTH OF THE SITE.

BLDG G IS A SINGLE-FAMILY RESIDENTIAL BLDG TO BE CONSTRUCTED TO THE NORTH OF THE SITE.

BLDG H IS A SINGLE-FAMILY RESIDENTIAL BLDG TO BE CONSTRUCTED TO THE EAST OF THE SITE.

BLDG I IS A SINGLE-FAMILY RESIDENTIAL BLDG TO BE CONSTRUCTED TO THE SOUTH OF THE SITE.

BLDG J IS A SINGLE-FAMILY RESIDENTIAL BLDG TO BE CONSTRUCTED TO THE WEST OF THE SITE.

ACCESS TO THE SITE FROM SO. ORTIGALITA & ALL NECESSARY UTILITIES COULD BE THE RIGHT OF WAY.

HOURS OF OPERATION: MON - SAT 8AM - 6PM, SUN 10AM - 4PM

OFFICE HOURS: MON - SAT 8AM - 6PM, SUN 10AM - 4PM

DATE: 08/14/2024

SHEET INDEX

1A	SITE PLAN & PROJECT DATA
2A	FLOOR PLANS
3A	PROJECT ELEVATIONS
4A	BLDG ELEVATIONS
5A	PROJECT ELEVATIONS
6	POOP PLAN
7	SITE LIGHTING PLAN
8	SECURITY PLAN
9	COLOR & MATERIALS BOARD
10	LANDSCAPE PLANNING PLAN
11	LANDSCAPE LEGENDES & NOTES
12	GRADING PLAN

PROJECT CONTACTS

DEVELOPER/APPLICANT	CIVIL ENGINEER
DEVELOPER HOLDINGS LLC dba FID CROCKER	ROBERT A. KAIN & ASSOCIATES
990 ALDER COURT	707 BLACK AV.
CANBY, CA 95924	HAMBLETT, CA 94543
95488-2252	707-455-9999
LAND OWNER - CURRENT	LANDSCAPE ARCHITECT
OLYMPIA REAL ESTATE LLC dba MILES SORESEN	CREG LEVINE LANDSCAPE ARCHITECT
7811 SOL VICK LANE	7811 PARKWAY
LOS BANOS, CA 93858	SANTA CRUZ, CA 95068
709-284-8485	831-45-6497
DESIGN COORDINATOR / GEN. CONTRACTOR	
CUBIX CONSTRUCTION COMPANY	
5 MEADOWBROOK LANE	
DANVILLE, CA 94526	
925-346-7373	

Revisions	Date



Cubix Construction Company
 License No. 144402
 5 Meadowbrook Ln
 Danville, California 94526 USA
 Phone (925) 314-0770 FAX (925) 314-0771



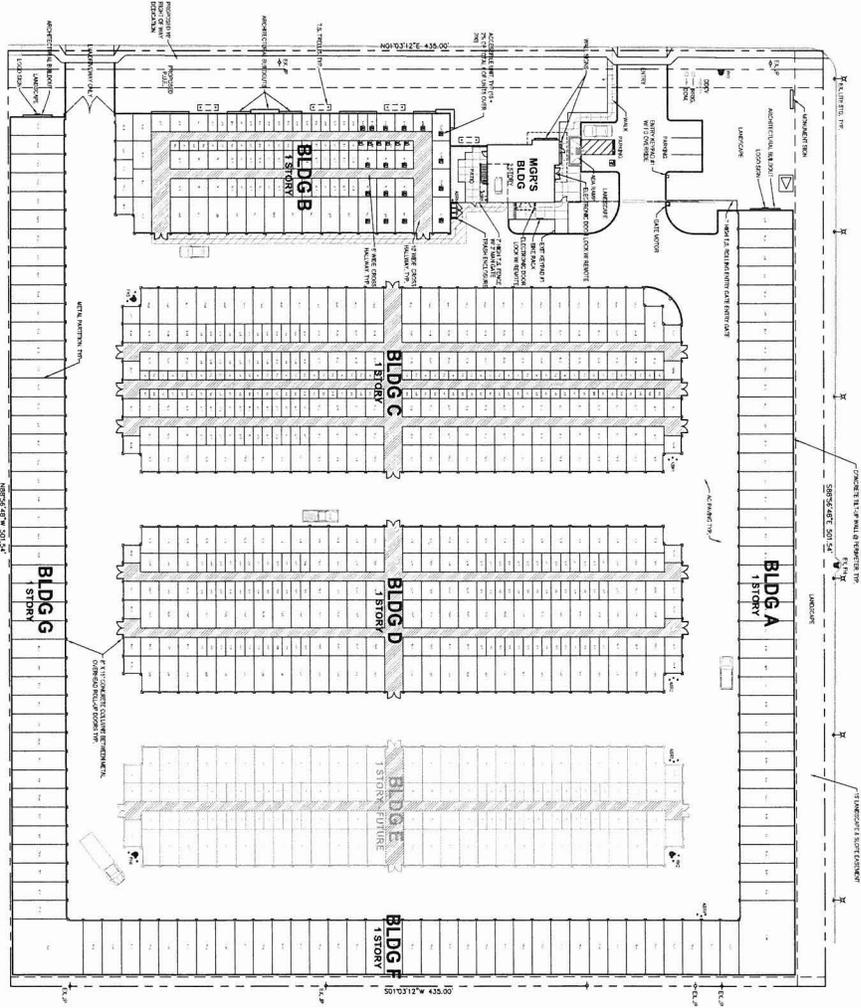
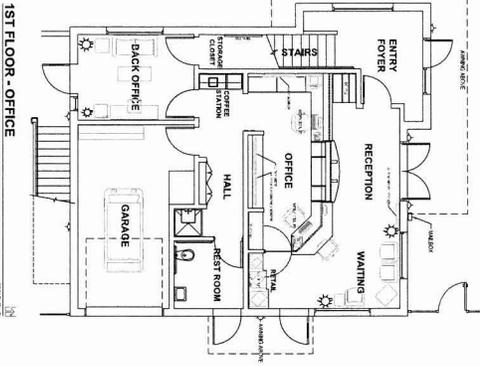
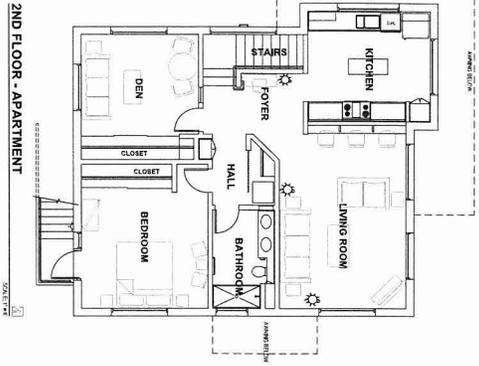
CROCKER'S LOCKERS SELF STORAGE
 SO. ORTIGALITA RD., LOS BANOS, CA
SITE PLAN W/ PHASING

Drawn By	JBL/178
Date	10/15/24
Scale	AS SHOWN
Project	100-100-000-000
File Name	SitePlan1
Planning File Numbers	
Sheet Number	1A

NOTE: EX. FEATURES, FUTURE ROADWAY IMPROVEMENTS, & EASEMENTS TO BE VERIFIED BY CIVIL ENGINEER

FLOOR PLAN W/ PHASING

CROCKER'S LOCKERS SELF STORAGE - SO, ORTIGALITA RD., LOS BANOS, CA



Revisions	Date

CROCKER'S LOCKERS SELF STORAGE
 SO, ORTIGALITA RD., LOS BANOS, CA

FLOOR PLAN W/ PHASING

Cubix Construction Company License No. 144402
 5 Meadowbrook Ln
 Danville, California 94526 USA
 Phone (925) 314-0770 FAX (925) 314-0771

Drawn By: **EA/MB**

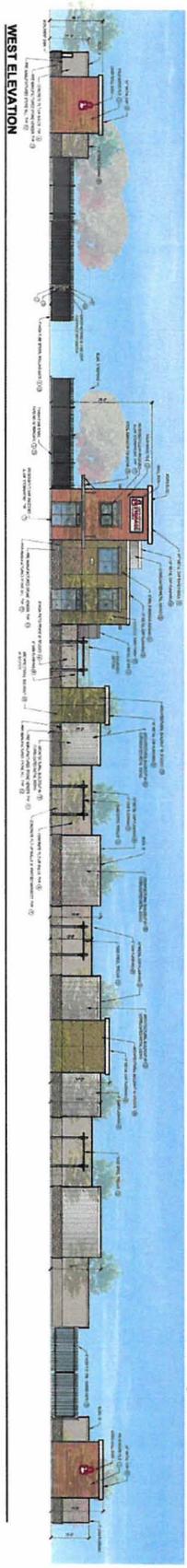
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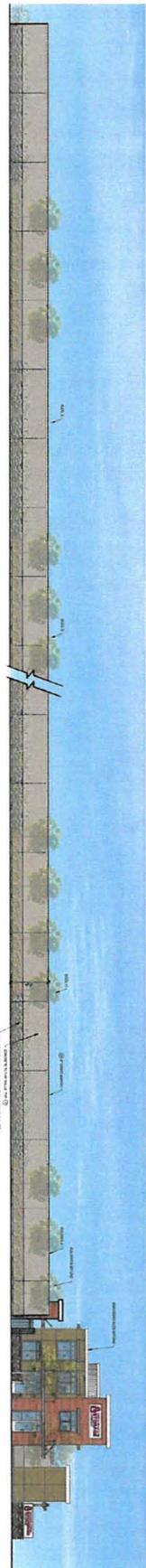
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Printing On: **Plotter**

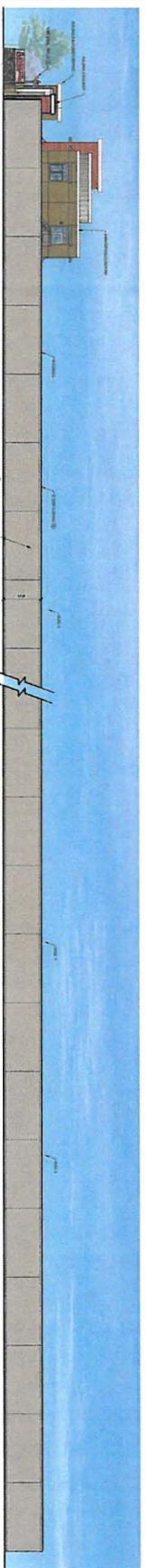
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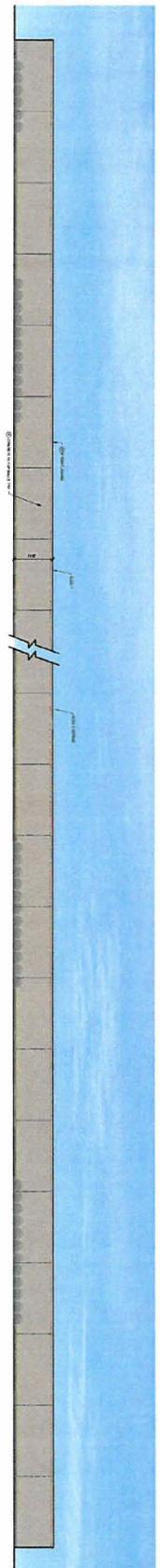
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

NOTES

1. MATCH SHEET TO THE NEXT SHEET.

LEGEND

- (1) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (2) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (3) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (4) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (5) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (6) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (7) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (8) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (9) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
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- (11) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (12) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
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- (15) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (16) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (17) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (18) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (19) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING
- (20) EXTERIOR WALL FINISH - SEE ARCHITECTURAL DRAWING

3A	Drawn By	LEWIS
	Checked By	LEWIS
	Scale	AS SHOWN
	Date	10/1/10
	Project No.	100-100000000
	Client Name	CROCKER'S LOCKERS
	Project Name	SELF STORAGE
	Address	SO. ORTIGALITA RD., LOS BANOS, CA
	Architect	Cubix Construction Company
	Architect License No.	144402
	Architect Seal No.	
	Architect Seal State	CA
	Architect Seal Exp. Date	
	Architect Seal Issue Date	
	Architect Seal Renewal Date	
	Architect Seal Status	
	Architect Seal Type	
	Architect Seal Color	
	Architect Seal Size	
	Architect Seal Material	
	Architect Seal Finish	
	Architect Seal Texture	
	Architect Seal Pattern	
	Architect Seal Design	
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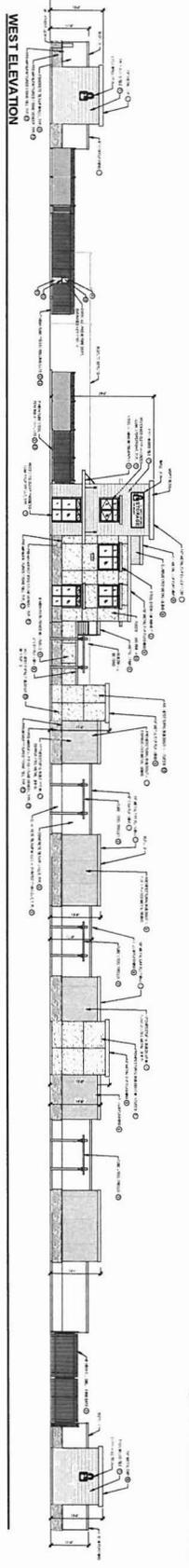
CROCKER'S LOCKERS
SELF STORAGE
 SO. ORTIGALITA RD., LOS BANOS, CA

PROJECT ELEVATIONS

Cubix Construction Company

5 Meadowbrook Lane
 Danville, California 94526 USA
 Phone: (925) 314-4771 FAX: (925) 314-0771

Revision	Date

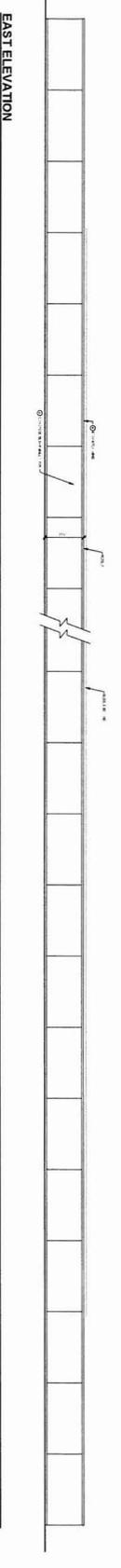
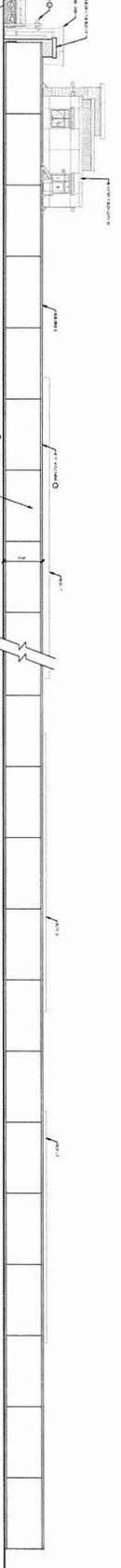
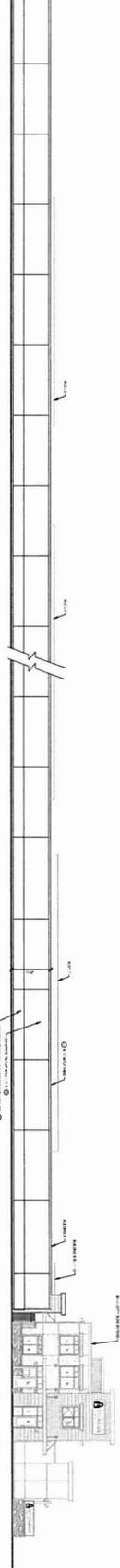


NOTES

1. REFER TO THE GENERAL NOTES

LEGEND

- 1. CONCRETE
- 2. BRICK
- 3. METAL PANELS
- 4. GLASS
- 5. INSULATION
- 6. ROOFING
- 7. FLOORING
- 8. PAINT
- 9. FINISH
- 10. OTHER



Revisions	Date

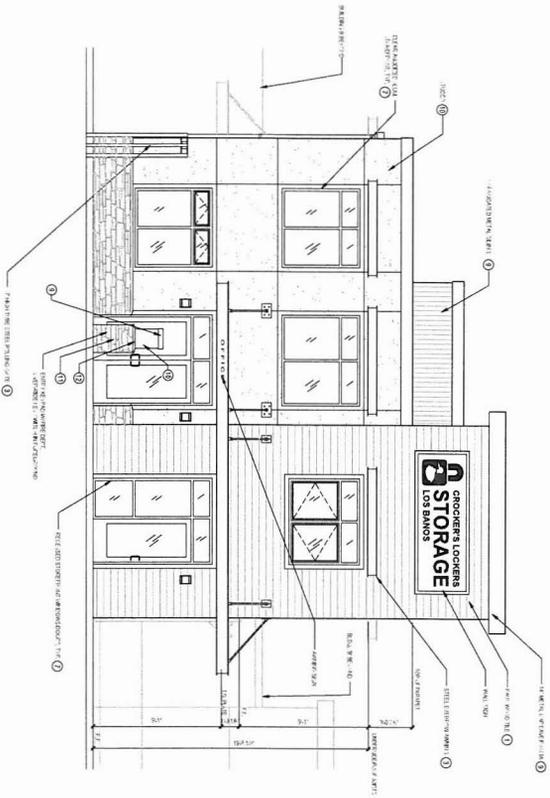
**CROCKER'S LOCKERS
SELF STORAGE**
SO. ORTIGALITA RD., LOS BANOS, CA

PROJECT ELEVATIONS

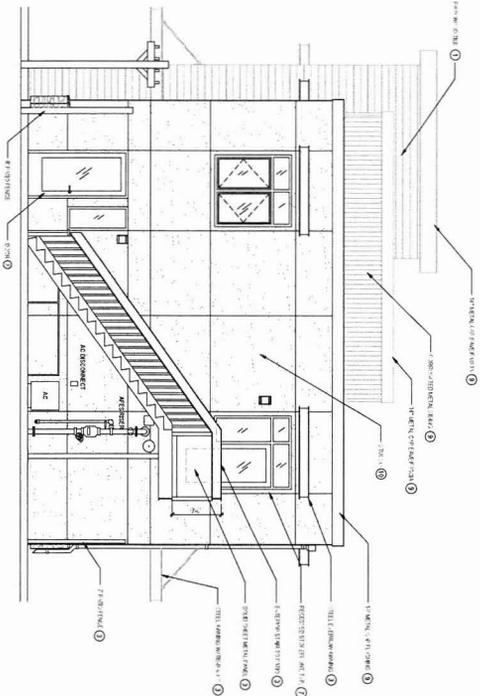
**Cubix
Construction
Company** License No. 144402
5 Meadowbrook Lane
Danville, California 94526 USA
Phone (925) 314-0770 FAX (925) 314-0771

Drawn By:
 Date:
 Scale:
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 Plot Number:
 Drawing File Number:
 Sheet Number:

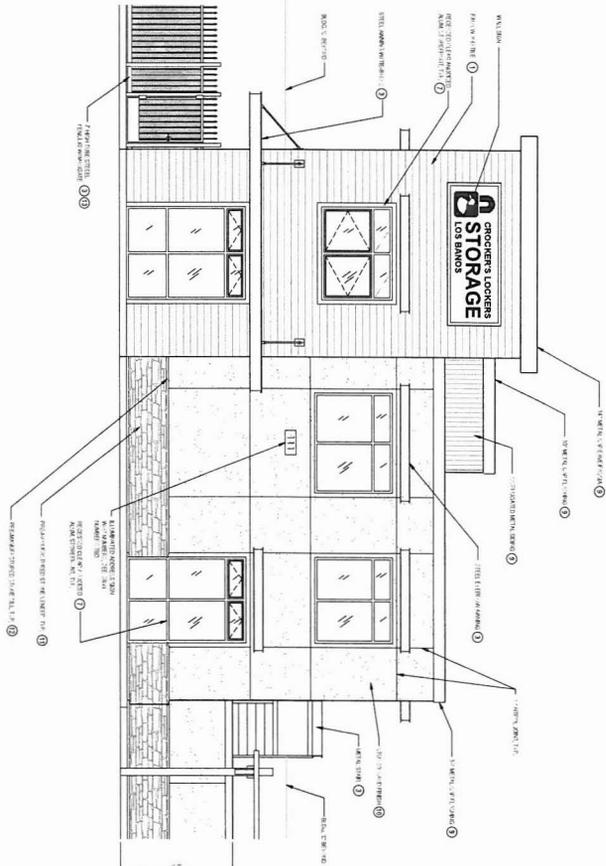
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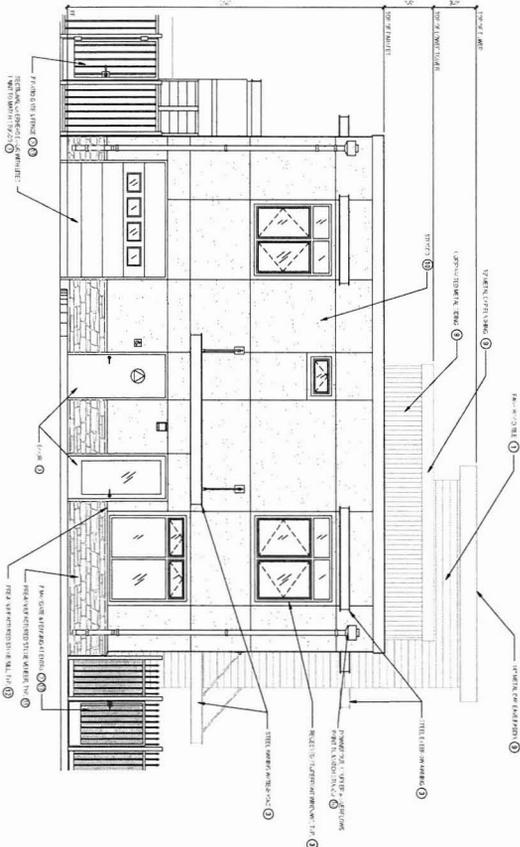
1 MGR'S BLDG - NORTH ELEVATION



3 MGR'S BLDG - SOUTH ELEVATION



2 MGR'S BLDG - WEST ELEVATION



4 MGR'S BLDG - EAST ELEVATION



 Drawing By: _____

 Date: _____

 Scale: _____

 Project Name: _____

 Client Name: _____

 Project Address: _____

 Sheet Number: _____

CROCKER'S LOCKERS
SELF STORAGE
 SO. ORTIGALITA RD. LOS BANOS, CA.

MGR'S BLDG. ELEVATIONS



Cubix Construction Company License No. 144402

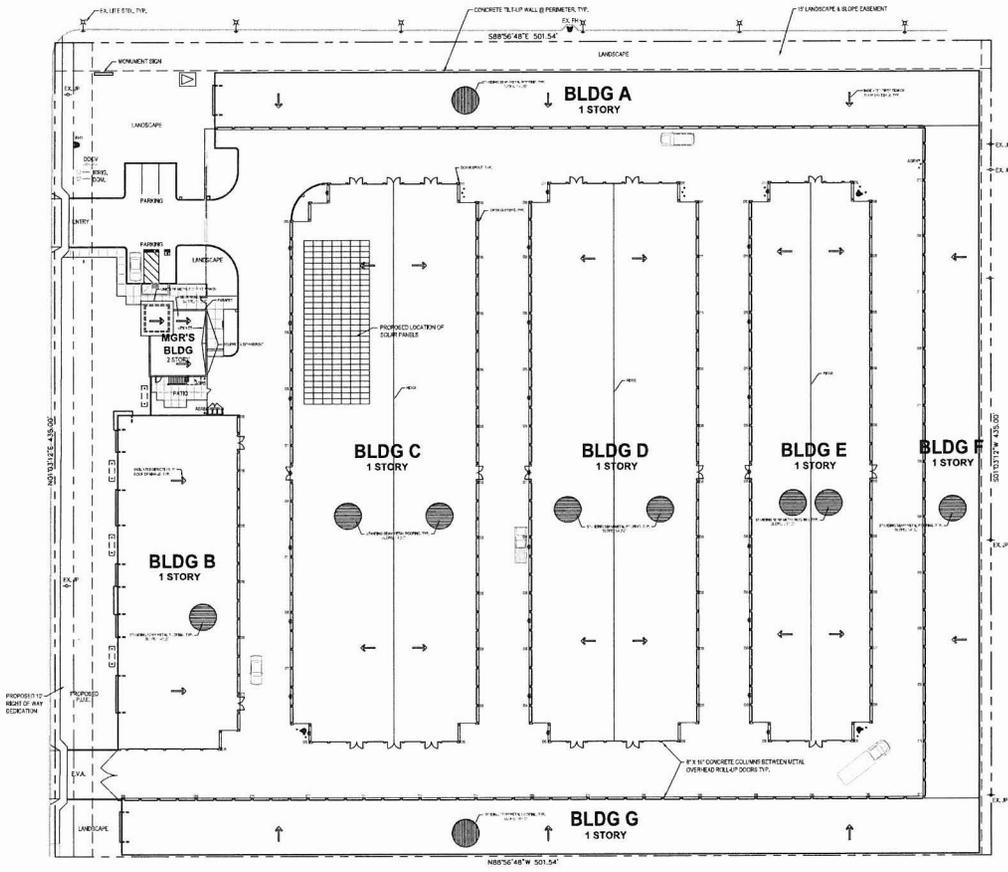
 5 Meadowbrook Lane

 Danville, California 94526 USA

 Phone (925) 314-0770 FAX (925) 314-0771

Revisions	Date

ROOF PLAN



Revisions	Date



Cubix Construction Company
 License No. 14402
 5 Meadowbrook Ln
 Danville, California 94526 USA
 Phone (925) 314-0770 FAX (925) 314-0771

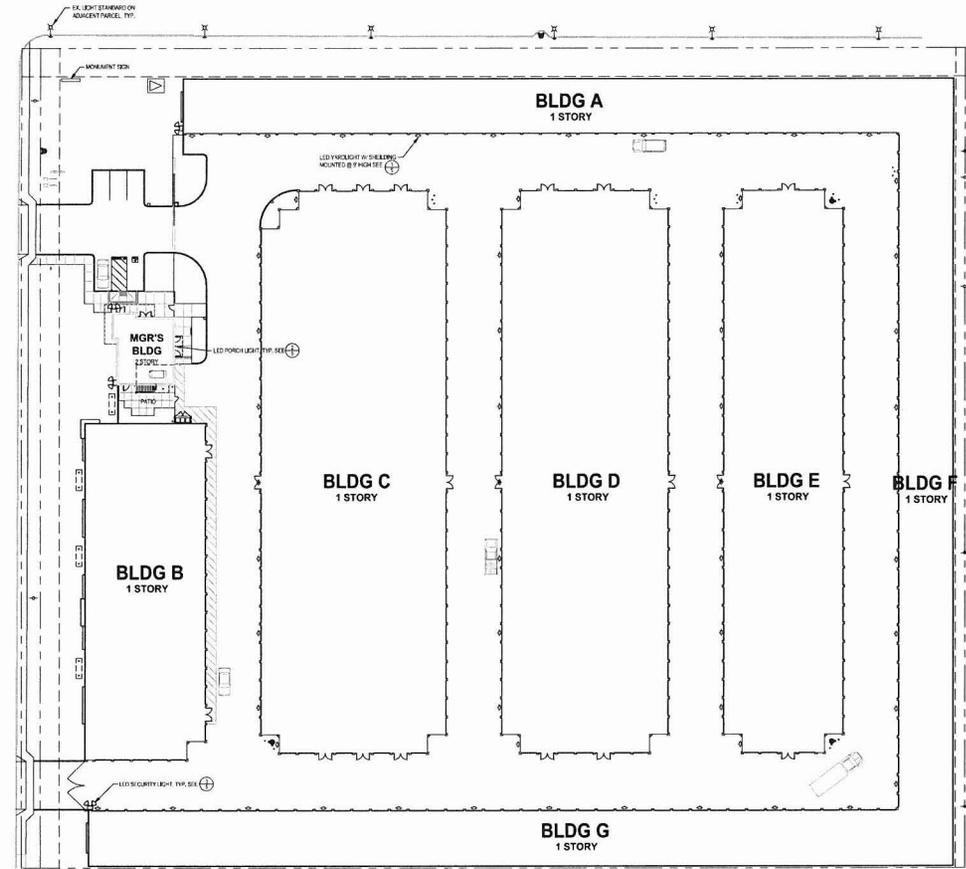


**CROCKER'S LOCKERS
 SELF STORAGE**
 SO. ORTIGALTA RD., LOS BANOS, CA
ROOF PLAN

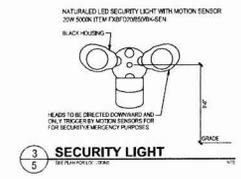
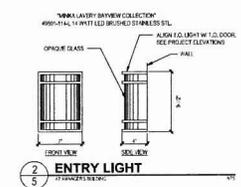
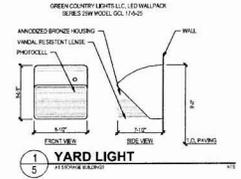
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Sheet Number	

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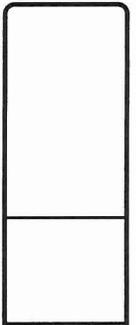
SITE LIGHTING PLAN



- LEGEND**
- GREEN COUNTRY LIGHTS LLC WALLPACK SERIES 21W MODEL GCL 11-6-20. SEE
 - MINORA LIVERY BAY VIEW ITEM # 860-144-14 WHITE BRUSHED STAINLESS STEEL LED. SEE
 - NATURAL LED SECURITY LIGHT WITH MOTION SENSOR 20W. SEE



Revisions	Date



Cubix Construction Company

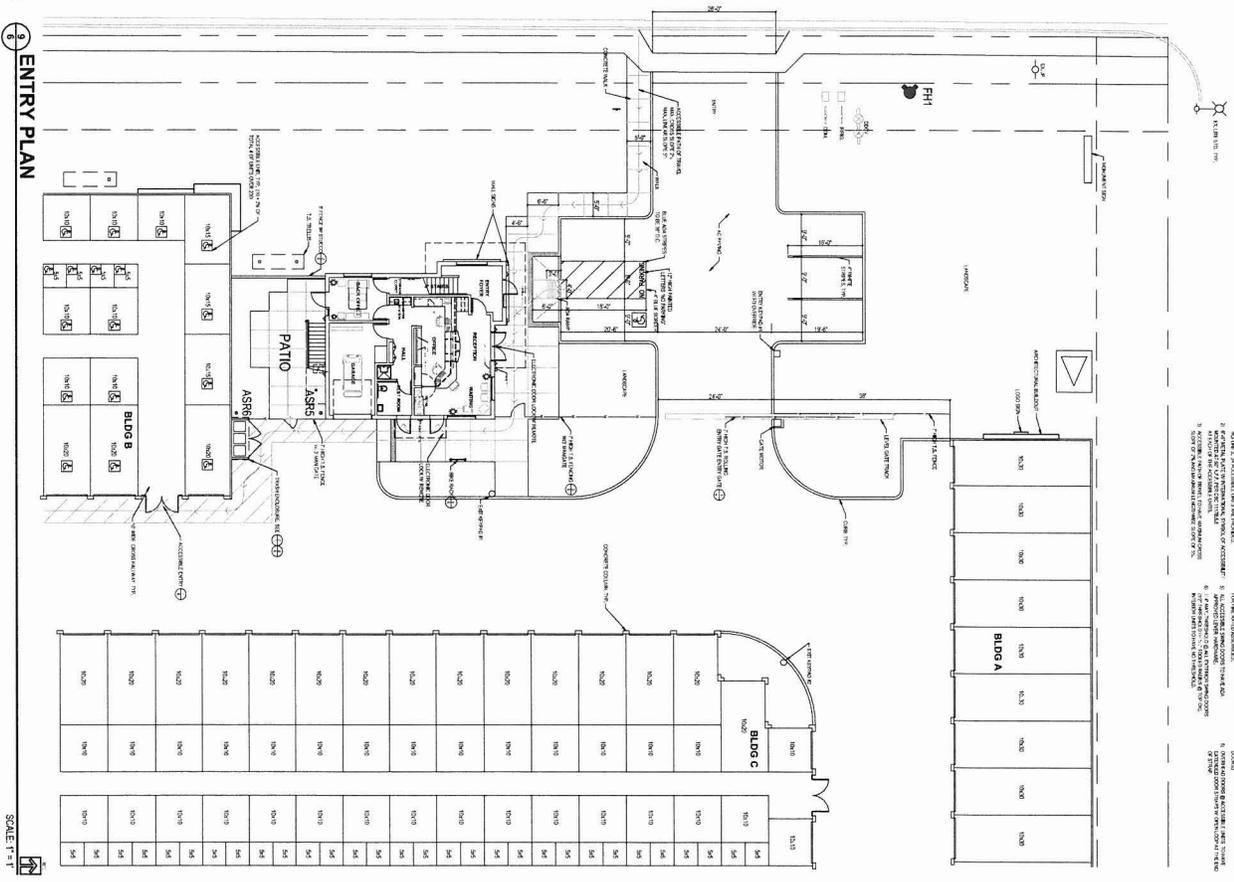
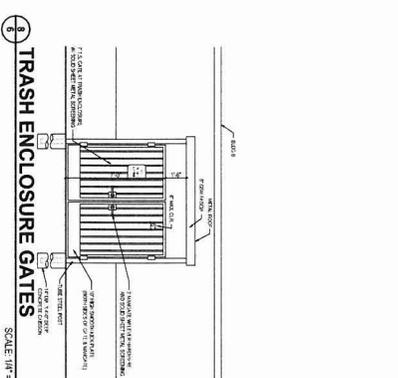
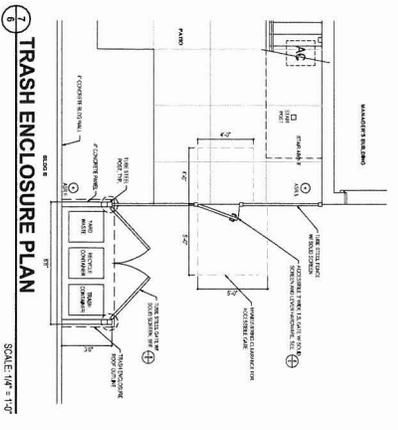
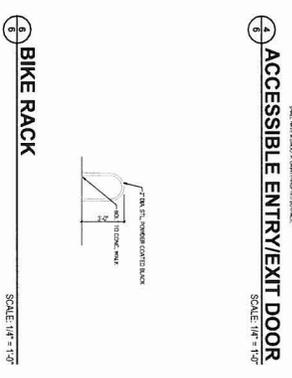
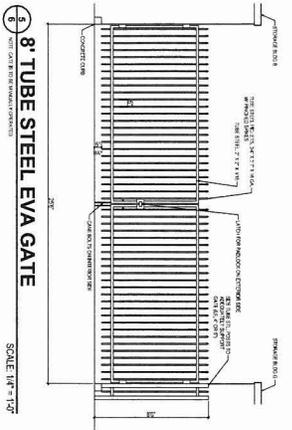
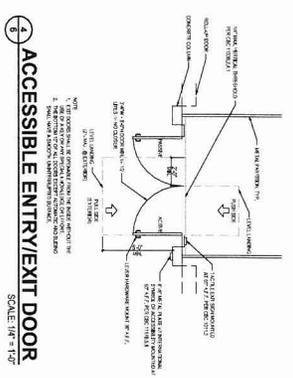
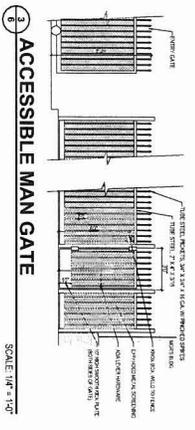
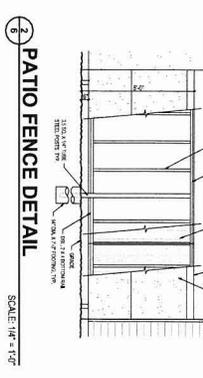
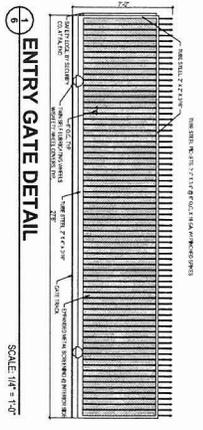
License No. 144402
5 Meadowbrook Ln
Danville, California 94526, USA
Phone: (925) 314-0770 FAX: (925) 314-0771

**CROCKER'S LOCKERS
SELF STORAGE**

50, ORTIGALITA RD., LOS BANOS, CA

SITE LIGHTING PLAN

Drawn By	
Date	
Scale	
Year	
File Name	
Sheet#	
Planning File Numbers	
Sheet Number	5



- STORAGE BUILDING ACCESSIBILITY NOTES:**
1. ALL ACCESSIBLE DOORS TO BE 48\"/>

Revisions	Date

**CROCKER'S LOCKERS
SELF STORAGE**
SO. ORTIGALITA AVE., LOS BANOS, CA.

MISC. DETAILS

**Cubix
Construction
Company** License No. 144402
5 Meadowbrook Ln
Danville, California 94526 USA
Phone (925) 314-0770 FAX (925) 314-0771

Drawn By: _____
Checked By: _____
Title: _____
Date: _____
Project Name: _____
Drawing No: _____

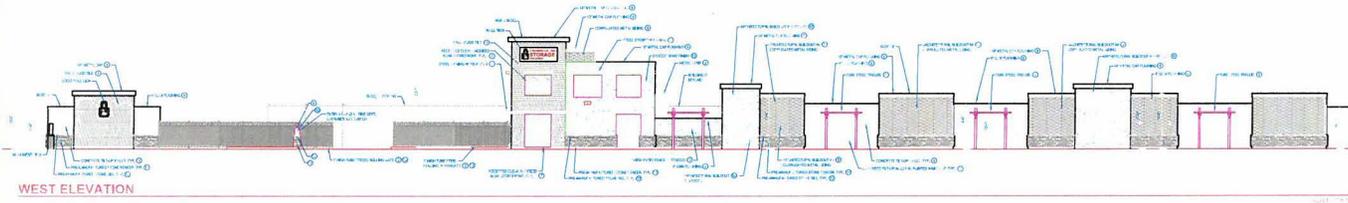
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COLOR & MATERIALS BOARD

CROCKER'S LOCKERS SELF STORAGE 214 N A ST., LOMPOC, CA

LEGEND

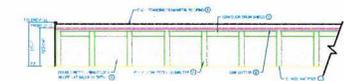
- ① WOOD LOOK TILE - SAGE GREEN FOREST BAY FINISH BY EMT
- ② AN INDIA PACIFIC SAND TONIGHT LIGHT TAUH NOT LISTED
- ③ KELLY HUNTER BRICK CLIFFBORNE - COMBINATION BRICK
- ④ BENJAMIN MOORE 'TUDOR' - ANVIL REFLECTION
- ⑤ BENJAMIN MOORE 'TUDOR' - EQUATION GRAY
- ⑥ BRICK INTERNATIONAL - DRAGONITE GRAY
- ⑦ CLEAR ANODIZED ALUMINUM FRAME - CLEAR GLASS
- ⑧ GALVANIZED SHEET METAL
- ⑨ UNFINISHED - ASH GRAY
- ⑩ STAINLESS STEEL - BRUSHED - ASSOCIATED GREEN
- ⑪ BRICK CORNING CULTURED STONE TISS SOUTHERN LEGGETT & PLATT
- ⑫ BRICK CORNING CULTURED STONE - GRAY
- ⑬ BRUSHED METAL - FINISH GATES & FINISHING CLOSET



WEST ELEVATION



NORTH ELEVATION



TYPICAL 1 STORY STORAGE BLDG ELEVATION



TYPICAL INTERIOR ELEVATION OF 1 STORY STORAGE BLDGS



① ⑩ ④



⑧ ⑨



④ ⑪ ⑫ ⑤



③ ⑦ ①



⑧ ⑥ ⑤ ⑧



③ ⑬

Revisions	Date

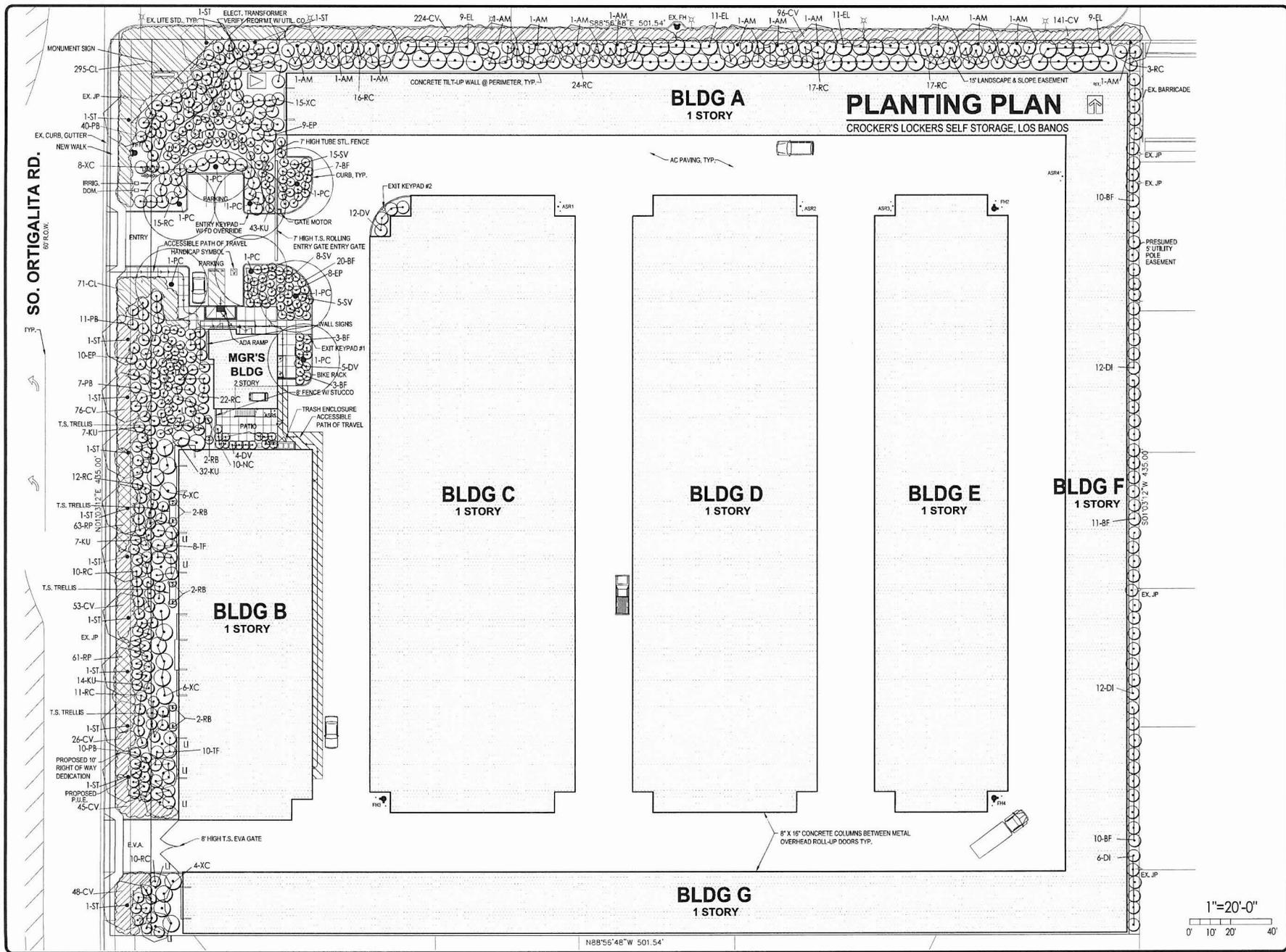
Cubix Construction Company
 License No. 14402
 2 Meadowbrook Lane, Suite 100, Los Angeles, CA 90048, USA
 Phone (925) 314-0770 Fax (925) 314-0771



CROCKER'S LOCKERS SELF STORAGE
 SO. ORTIGALITA RD., LOS BANOS, CA
COLORS & MATERIALS

Drawn By: LEEB
 Date: 11/15/19
 Scale: 1" = 16'
 Title Name: Color & Material Board
 Planning File Number:
 Sheet Number:

7



Revisions	Date

Gregory Lewis
 Landscape
 Architect
 #2176
 736 Park Way
 Santa Cruz, CA 95065
 (831) 359-0960
 lewislandscape@icoglobal.net

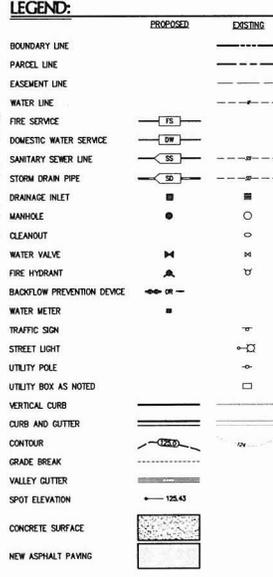
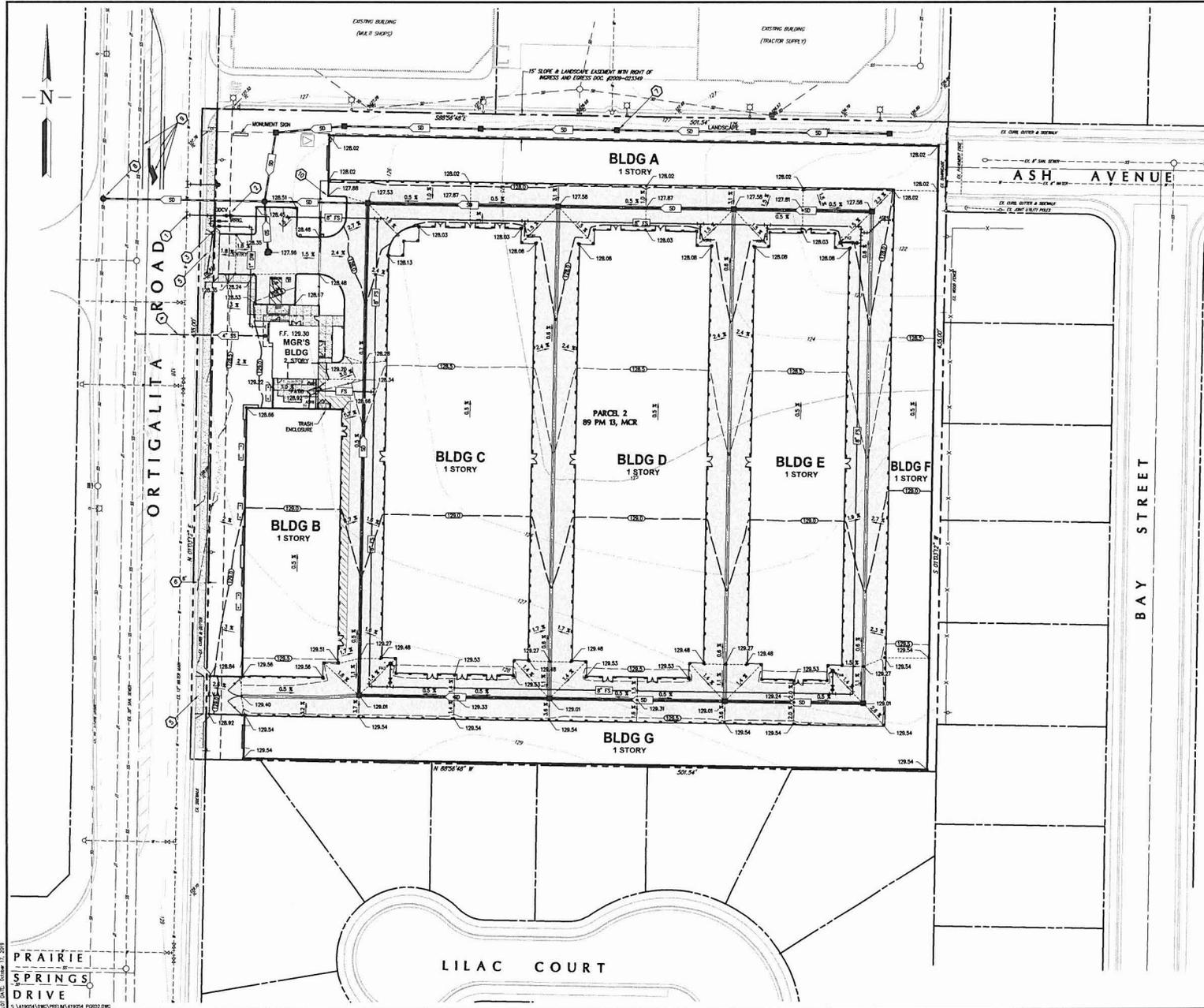


Cubix Construction Company
 License No. 14492
 5 Mendocino Ln
 Danville, California 94526 USA
 Phone (925) 314-0770 FAX (925) 314-0771



CROCKER'S LOCKERS
 SELF STORAGE
 SO. ORTIGALITA RD., LOS BANOS, CA
PLANTING PLAN

Drawn By	SL
Date	9/20/13
Scale	1/8"=1'-0"
File Name	Crocker Los Banos_9/20_130913
Planning File Numbers	
Sheet Number	L1



- CONSTRUCTION NOTES:**
- PROPOSED TAP WATER CONNECTION TO MAIN AS SHOWN.
 - PROPOSED FIRE SERVICE BACKFLOW PREVENTER AND FIRE DEPARTMENT CONNECTION.
 - PROPOSED DOMESTIC AND LANDSCAPE IRRIGATION SERVICE WITH METER AND REDUCED PRESSURE BACKFLOW PREVENTER. SIZE TO BE DETERMINED.
 - PROPOSED SANITARY SEWER LATERAL CONNECTION TO PUBLIC MAIN.
 - PROPOSED COMMERCIAL DRIVEWAY RAMP PER CITY STANDARDS.
 - PROPOSED PUBLIC SIDEWALK BEHIND EXISTING CURB & GUTTER.
 - PROPOSED LANDSCAPE AREA DRAIN.
 - PROPOSED STORM DRAIN PIPE TIE TO EXISTING MAIN.
 - PROPOSED STRIPING MODIFICATION FOR LEFT TURN INTO SITE ENTRANCE.
 - PROVIDE OPENING IN CURB FOR OVERLAND DRAINAGE RELEASE.

ALL DROP INLETS REQUIRE A "FLEXSTORM PURE PERMANENT" INLET PROTECTION DEVICE.



ROBERT A. KARN & ASSOCIATES, INC.
 14000 WILSON AVENUE SUITE 400
 FARMERSVILLE, CALIFORNIA 94535
 PHONE: (925) 452-1000
 FAX: (925) 452-1000
 WWW: WWW.RAKONLINE.COM
 CIVIL ENGINEERS
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PRELIMINARY GRADING AND UTILITY PLAN
CROCKER'S LOCKERS
SELF STORAGE
 CITY OF LOS BANOS, CALIFORNIA
 FOR CUBIK CONSTRUCTION CO.

DATE	BY	CHK	SCALE	SHEET NO.
				1
				OF 1 SHEETS
				JOB NO. A19054

DATE: 08/11/2014
 5:1419054.DWG/PRJ/ML/19054_P002.DWG













 GILROY
SELF STORAGE
DEPOT

 LOCKS & MISC

 PACKING SUPPLIES

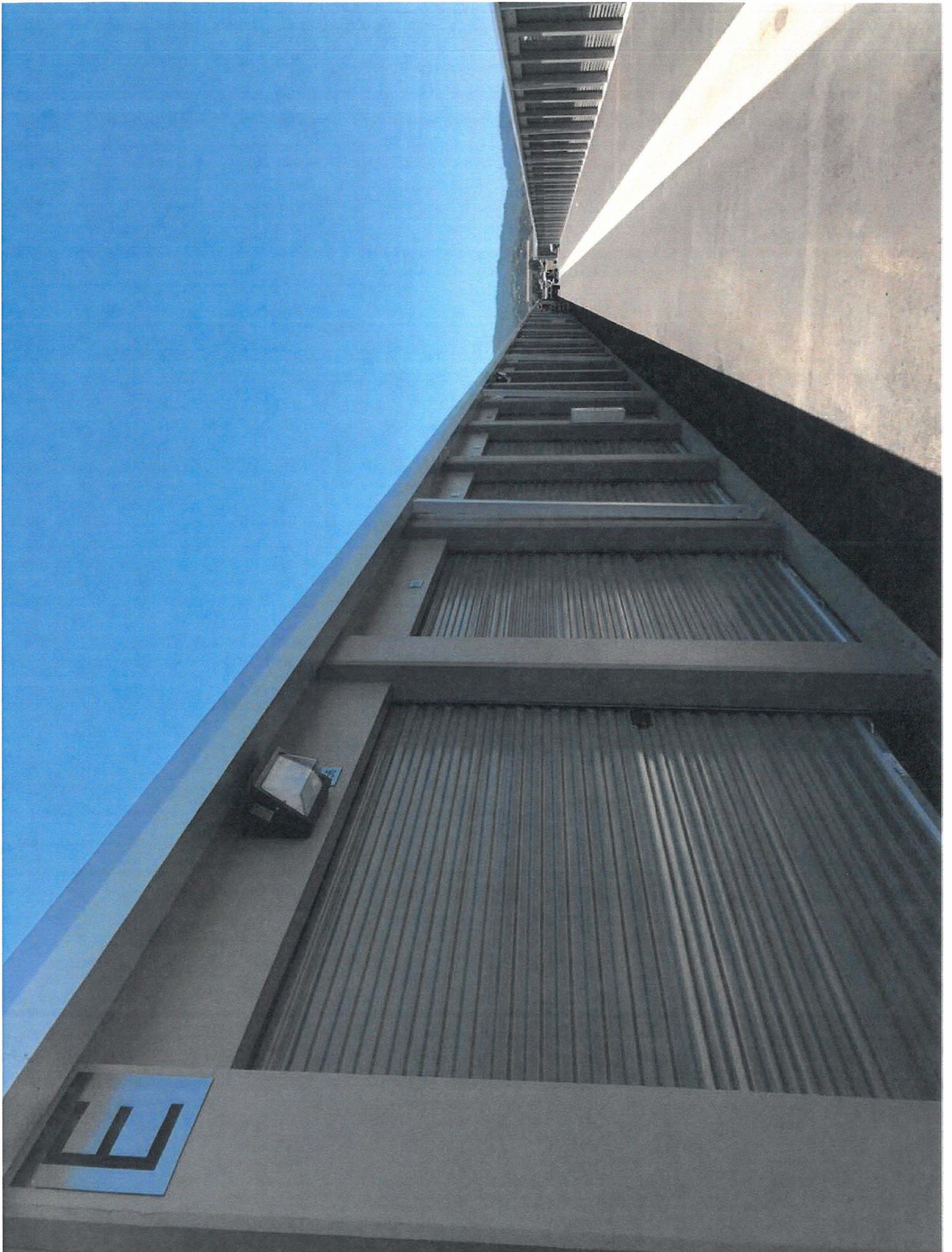


BOX CENTER

GILROY SELF STORAGE

C.





A111-A100
A221-A200

A









City of
Los Banos
At the Crossroads of California

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

Date: November 29, 2019

Re: Notice of Public Hearing

Proposal: Site Plan Review #2019-05 and Conditional Use Permit #2019-05

NOTICE IS HEREBY GIVEN THAT a Public Hearing will be held by the Los Banos Planning Commission to consider a Categorical Exemption from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Infill Development Projects) for Site Plan Review #2019-05 and Conditional Use Permit #2019-05 for the development of a Self Storage Facility within the Highway Commercial Zoning District. The proposed project consists of eight (8) storage buildings with a two story manager building totaling 125,900 square feet to be developed on a vacant 5.01 acre parcel located east of Ortigalita Road, south of Pacheco Boulevard and north of Birch Street; more specifically identified as Assessor's Parcel Numbers: 431-141-013.

A PUBLIC HEARING on this matter will be held at the next scheduled meeting of the Planning Commission on Wednesday, December 11, 2019 at 7:00 p.m. in the Council Chambers of Los Banos City Hall located at 520 "J" Street. Questions regarding the above-referenced item may be directed to Rudy Luquin, Associate Planner at City Hall or at (209) 827-2432.

All persons are invited to be present at the public hearing. Written and oral testimony is invited. Notice is hereby further given that if you challenge the above described Project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this Notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Additional information may be obtained from the Community & Economic Development Department at 520 J Street, Los Banos, California. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Office of the City Clerk at (209) 827-7000. Notification at least 72 hours prior to the public hearing will enable the City to make reasonable arrangements to allow participation at this hearing

THE CITY OF LOS BANOS

A handwritten signature in blue ink, appearing to read 'Rudy Luquin', is written over a printed name and title.

Rudy Luquin
Associate Planner



City of
Los Banos
At the Crossroads of California

PLANNING COMMISSION STAFF REPORT

TO: CHAIRMAN CATES AND PLANNING COMMISSIONERS

FROM: RUDY LUQUIN, ASSOCIATE PLANNER 

FOR: DECEMBER 11, 2019

SUBJECT: CONSIDERATION VESTING TENTATIVE TRACT MAP #2019-01 FOR MISSION VILLAGE SOUTH PHASE 5A

RECOMMENDATIONS:

Staff requests that the Planning Commission open the public hearing, receive public comment, and consider the following actions:

1. Adopt Resolution 2019-27 approving Vesting Tentative Tract Map #2019-01 for Mission Village South Phase 5A for the subdivision of approximately 8.85 acres into 10 single-family residential lots ranging from 3,755 square feet to 4,697 square feet and a 7.81 acre remainder parcel. The project site is located on the east of Mercey Springs Road, south of Mission Drive and north of Willmott Avenue; more specifically identified as Assessor's Parcel Numbers: 428-280-012.

BACKGROUND SUMMARY:

The applicant, Stonefield Home, Inc, is reviving a previously approved and expired Tentative Tract Map for Mission Village South Phase 5. The original Mission Village South phase 5 Tentative Tract Map #2006-16 was approved by the Los Banos Planning Commission on October 24, 2007. The approved TTM #2006-16 for Mission Village South Phase 5 consisted of the subdivision of 6.39 acres being subdivided into 46 Medium Density Residential (R-2) lots. Since then, Mission Village South Phase 5 Tentative Tract Map #2006-16 entitlement has expired. More recently, the applicant Stonefield Home, Inc. has resurrected the project and proposes to phase Mission Village South Phase 5 until it is entirely developed in context to the approved Mission Village Area Plan. The applicant is requesting approval of Vesting Tentative Tract Map #2019-01 to subdivide approximately 8.85 acres into 10 single-family residential lots

ranging from 3,755 square feet to 4,697 square feet and a 7.81 acre remainder parcel. The proposed project does not necessarily meet the building site standards for a typical Medium Density Residential Zoning District (R-2) minimum building site of 4,000 square feet. Nonetheless, the project site has a Planned Development (PD) overlay in which the minimum lot size and setbacks can vary from the set standards.

The proposed Vesting Tentative Tract Map will be conditioned to submit a Final Development Plan for the proposed subdivision prior to the submittal of a Building Permit. The applicant anticipates selling the proposed 10 lots to another developer, and feels it would be more appropriate for that developer to obtain Final Development Plan Approval. The Los Banos Municipal Code requires the Final Development Plan to include all of the following:

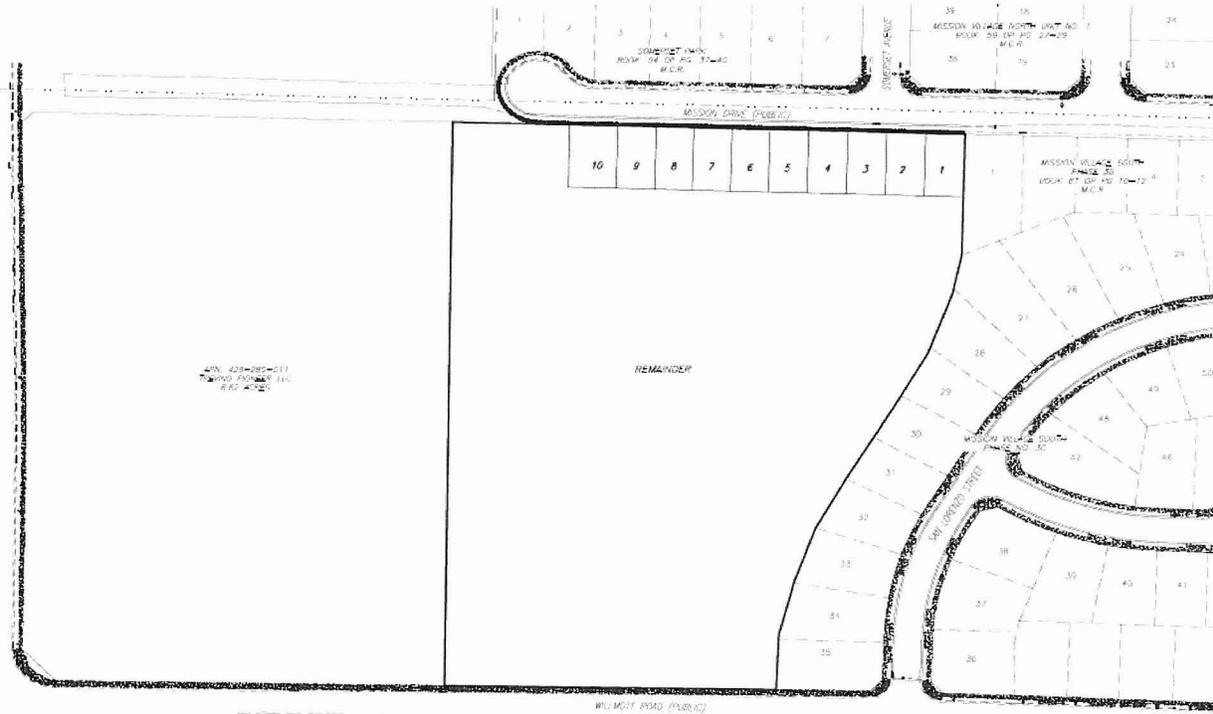
- The location, design, and dimensions of all lots and lot lines;
- The dimensions of all yard areas, setbacks, building separations, open space, and patios;
- The location and dimensions of all proposed easement dedications and off-site improvements;
- The land use, type of residential units and number of bedrooms in residential use;
- The location, dimensions, and number of off-street parking spaces;
- The pedestrian and vehicular access, circulation, and ingress and egress;
- The preliminary architectural design, depicting the building materials;
- The grading plans and landscape plans;
- Any additional information required by the Commission in order to adequately review the project.

A Vesting Tentative Tract Map (VTTM) confers a vested right to proceed with a development in substantial compliance with the ordinances, policies, and standards in effect at the time an application for the map is deemed complete.

Vesting Tentative Tract Maps are analyzed in the equivalent fashion as regular tentative maps. The Planning Commission is the lone hearing body reviewing the Vesting Tentative Tract Map, unless appealed then the City Council will review the project. The review of a Vesting Tentative Tract Map is limited to the verification that the map is within consistency of the requirements of the General Plan, the Zoning Ordinance, the local Subdivision Ordinance, and that State mandated findings can be made. Staff considers that the proposed Vesting Tentative Tract Map is complete and consistent with the foregoing, subject to the recommended conditions of approval. Subsequently, the Vesting Tentative Tract Map is before the Planning Commission for consideration of approval.

PROJECT DESCRIPTION

The requested Vesting Tentative Tract Map is proposed to create 10 Medium Density Residential single-family lots, ranging in size from approximately 3,755 square feet to 4,697 square feet in area as depicted below:



LOCATION AND ACCESS:

The project site is located on the east of Mercey Springs Road, south of Mission Drive and north of Willmott Avenue. The access for the project site will be at Mission Drive. The project site is outlined in yellow on the area map below.



LAND USE:

The project site is undeveloped and not in agricultural production. The following table shows the adjacent land uses:

Property	Land Use	Zone	General Plan
Project Site	Undeveloped	R-2	MDR
North	Residential	R-1	LDR
East	Residential	R-1	LDR
South	Residential	R-1	LDR
West	Undeveloped	H-C	C

R-1 = Low Density Residential LDR= Low Density Residential
 R-2= Medium Density Residential MDR= Medium Density Residential
 H-C= Highway Commercial C= Commercial

TENTATIVE TRACT MAP ANALYSIS:

In General

Land cannot be divided in California without local government approval. Dividing land for sale, lease or financing is regulated by local ordinances based on the State Subdivision Map Act (commencing with California Government Code Section 66410). The local General Plan, local zoning ordinance, local subdivision ordinance, and other

local ordinances govern the design of the subdivision, the size of lots, and the types of improvements and infrastructure (street construction, sewer lines, drainage facilities, etc.).

In most cases the sub-divider will be responsible for installing or constructing improvements such as streets, drainage facilities or sewer lines to serve the subdivision. These improvements must be installed or constructed or secured by bond before the City will grant final approval of the tentative map (final map) and allow the subdivision to be recorded at the Merced County Recorder's office. Lots within the subdivision cannot be sold until the final map has been approved by the City and officially recorded with the Merced County Recorder. Generally, a tentative map has the life span of 24 months unless extended. If the tentative map expires before approval of the final map it cannot be revived. Instead, a new tentative map must be applied for, processed, and approved.

Review of a tentative map is limited to review of its consistency with the General Plan, the Zoning Ordinance, the local Subdivision Ordinance, and that State mandated findings can be made.

Code Requirements – Technical Review

Title 9, Chapter 2 of the Los Banos Municipal Code regulates the processing and approval of all subdivisions within the City of Los Banos. In accordance with the Code, the Vesting Tentative Tract Map has been reviewed by the Project Review Board prior to its submission to the Planning Commission.

Among other things the Project Review Board is required to and has reviewed the Vesting Tentative Tract Map for: a) suitability of the land for subdivision; b) overall design of the subdivision and its conformity with all pertinent requirements of the Code; c) provisions for and suitability of public improvements such as street improvements, underground utilities, fire hydrants, ornamental electroliers, storm drains, streets, trees, sidewalks, water supply, and sewage disposal and easements for utilities and drainage; d) provisions for public areas such as parks and schools.

The Project Review Board reviewed the Vesting Tentative Tract Map #2019-01 and their recommendations are incorporated into the Conditions of Approval.

Project Design

The proposed residential subdivision is a Medium Density Residential subdivision within a Planned Development (PD). The single-family residential development includes 10 single-family residential lots ranging from 3,755 square feet to 4,697 square feet and a 7.81 acre remainder parcel. The proposed subdivision does not meet the building site requirements established for the Medium Density Residential Zoning District (R-2) in the Los Banos Municipal Code; however, the Planned Development (PD) overlay relieves

the applicant from adhering to the standards for Medium Density Residential Zoning (R-2) Standards in which building sites and setbacks can vary from the specific standards. The proposed density is approximately 9.61 units per acre, two (2) units short of the 12 unit buildout projections in accordance to the Los Banos 2030 General Plan. The subdivision will be a Medium Density Residential (R-2) with a Planned Development (PD) overlay and will be built in accordance to the Mission Village Area Plan, the Los Banos Municipal Code and all pertinent City Standards and Specifications will apply.

Pursuant to the Los Banos Municipal Code Title 9, Chapter 3, Article 7, Medium Density Residential Zoning District (R-2), the minimum lot size shall be 4,000 square feet and the lot width shall be a minimum of 40 feet for interior lots and 45 feet for corner lots.

The project meets the requirements of the Medium Density Residential Zoning Districts (R-2) for minimum lot size through the Planned Development (PD) overlay as for mentioned.

Architecture is not a required component of the Vesting Tentative Tract Map, but the proposed single family homes will be required to be designed in consistency with the Residential Community Design Guidelines and approved by the Planning Commission and City Council prior to issuance of any building permits.

Land Use

The project sites land use designation is Medium Density Residential (MDR) according to the Los Banos 2030 General Plan and Medium Density Residential Zoning District (R-2) in accordance with the Los Banos Zoning Map and has a Planned Development (PD) overlay. The proposed project is proposing to subdivide an approximate 8.85 acre parcel into 10 Medium Density Residential lots and a 7.81 acre remainder parcel. The proposed use is consistent with the Los Banos 2030 General Plan and the Los Banos Municipal Code Title 9, Chapter 2, Subdivisions.

Landscape and Lighting

Prior to issuance of any permits, the developer will be required to prepare a Landscape and Lighting Plan for the proposed subdivision in the public right of way. The landscape plan will be designed in accordance with the City's "Water Efficient Landscape Ordinance" and the lighting plan will include a Lumen Dispersion Map and comply with the City of Los Banos Standards and Specifications. Maintenance of the landscape and lighting areas will be financed through a Landscape and Lighting District. The developer will be required to form or annex to an existing Landscape and Lighting District.

Circulation

The projects potential traffic was previously evaluated in the Mission Village Area Plan

Mitigated Negative Declaration and Initial Study (SCH #2001021115), which was adopted by the City in July 2001. The potential traffic of the proposed project was analyzed in the document.

Infrastructure/Services

Water: The City of Los Banos would provide domestic water services by connecting to an existing eight (8) inch water line located on Mission Drive. All existing groundwater wells within the boundary of the map will be required to be abandoned to Merced County Standards. The project is subject to the provisions of the Los Banos Water Master Plan and will conform to its requirements including, but not limited to, payment of water impact fees.

Sewer: The City of Los Banos would provide wastewater service to the project site by connecting to an existing sewer line located on Mission Drive. Project build-out has been contemplated in the Wastewater Master Plans and will conform to its requirements including, but not limited to, payment of the wastewater impact fees.

Drainage: The City of Los Banos would provide storm water drain services by connecting to the City of Los Banos via an existing storm drain line located on mission Drive. The existing storm drain catch basin north of the project site located on Somerset Avenue. The catch basin has been sized to accommodate flow from the project area in accordance with the Storm Drain Master Plan. It should be noted that all City infrastructure has been sized to accommodate this use and will be built in accordance with the City's Utility Master Plans.

ENVIRONMENTAL ASSESSMENT:

This project was previously evaluated in the Mission Village Area Plan Mitigated Negative Declaration and Initial Study (SCH #2001021115), which was adopted by the City in July 2001. The proposed project is within the densities analyzed for the site in that document.

School Facilities

The Los Banos Unified School District and applicant have entered into an agreement on school facility impacts.

As a reminder, SB 50 specifically limits the cities and counties powers under CEQA to mitigate school facilities impacts applicable to both adjudicative and legislative decisions. State law is very clear.

- A local agency (City) is prohibited from imposing an exaction in excess of that provided by statute;

- A local agency (City) is prohibited from denying a land use approval on the basis of a developer's refusal to provide school facilities mitigation that exceeds the amounts authorized by statute;
- A local agency (City) is prohibited from using the inadequacy of school facilities as a basis for denying or conditioning a land use approval; and
- Payment of the statutory development fees (school impact fees) is considered full and complete mitigation of impacts on the provision of adequate school facilities.

FINDINGS:

State law and the Zoning Ordinance of the Los Banos Municipal Code (LBMC) set forth the considerations to be addressed in reviewing a Vesting Tentative Tract Map. The Planning Commission must make the following findings before making its action.

1. The proposal is consistent with the Los Banos General Plan and Zoning Ordinance.

The project and its improvements are compatible with the objectives, policies, land uses, and programs specified in the Los Banos 2030 General Plan.

The map and improvements conform to the Medium Density Residential Zoning District (R-2) and the Planned Development (PD) overlay for the Mission Village Area Plan. Single-Family Residential dwelling units are permitted in the underlying zoning district per the text of the Los Banos Municipal Code Title 9, Chapter 3, Article 12, Medium Density Residential Zoning District (R-2).

2. The proposal will not be detrimental to the health, safety, comfort, or general welfare of the persons residing or working in the City of Los Banos, or injurious to property or improvements in the surrounding neighborhoods or within the City.

The project meets all applicable City standards pertaining to public health, safety, and welfare (e.g., standards pertaining to public utilities and services, public road design and traffic safety, fire hazards and noise hazards). All public safety measures are addressed through the design and conditions of approval of the Vesting Tentative Tract Map. The street design is satisfactory to the Los Banos Fire Department and City Engineer. The homes will be equipped with automatic residential fire sprinklers and will be required to meet the requirements of the California Building Code, Fire Code, and other applicable City codes and/or requirements. The site is free from toxic or hazardous materials and no earthquake, landslide, flooding, or other natural hazards exist at this site. The proposed single-family residential lots are compatible with the adjacent uses, properties, and neighborhoods, and will not be detrimental or injurious to property or improvements in the neighborhood or to the general welfare of the City. The proposed subdivision design, lot sizes, lot configurations, and proposed infrastructure improvements are adequate to accommodate the density and intensity of the development proposed.

3. The project site is physically suitable for residential development and density.

The property is not in a flood zone or earthquake fault zone. Project construction would involve minimal site grading and alteration of existing topography. Thus, the project site is physically suitable for the proposed development as there are existing similar residential uses located on the northern portion of Mission Drive. This project will be the continuation of the Mission Village Area Plan. The proposed density is approximately 9.61 units per acre and lot sizes range from 3,755 to 4,697 square feet. The proposed density is consistent with the Medium Density Residential (MDR) General Plan land use density; though the minimum proposed lot size is less than the standard for Medium Density Residential Zoning District (R-2). However, the project site has a Planned Development (PD) overlay in which the variation of the minimum lot size proposed is acceptable.

4. The design of the subdivision or its related improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

No conflicts with easements acquired by the public at large, for access through or use of the property within the proposed subdivision have been identified.

5. The design of the subdivision and improvements covered by the proposed vesting tentative subdivision map will not cause substantial environmental damage and avoidably injure fish and/or wildlife or their habitat.

As part of the environmental assessment that the City adopted in July of 2001, staff found no potential for significant environmental effects. The project site does not include any rare, threatened or sensitive plants or wildlife. No creeks, wetlands, water bodies or mapped environmentally sensitive habitat are located on the project site. Conditions of Approval include conditions that require best management practices to be incorporated before and during construction to minimize impacts to groundwater and surface water quality. The location of the project has been recently developed, in which the majority if not all of the area has been previously disturbed.

6. The discharge of waste from the proposed subdivision would not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board (RWQCB).

The proposed residential development would not result in the discharge of waste from the project site in violation of existing requirements prescribed by the local RWQCB. Sewer capacity is available for this subdivision. The project would not discharge any waste other than domestic sewage and all sewage would be discharged into the City's sanitary sewer system for ultimate treatment. Storm water runoff would be collected and conveyed through the City's storm water basin retention system in accordance with the City's Storm Drain Master Plan.

7. The restriction on approving a tentative subdivision map on land covered by a land conservation contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act) is not applicable.

The site is not covered by a land conservation contract, including a Williamson Act contract.

8. The design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

There is sufficient northern, southern, eastern, and western exposure to allow for passive heating or cooling systems to be provided on the site. Future homes on the proposed lots could be designed, oriented and set apart from one another in order to incorporate passive heating and cooling opportunities. The homes in the project will comply with the City's residential Green Building Ordinance, which requires that each home achieve a "Green Home" rating on the "Single-Family Green Building Rating System."

PUBLIC COMMENT:

A public hearing notice was published in the Los Banos Enterprise and notices were mailed out to property owners within a 300' radius of the project site on November 29, 2019. As of the date of this staff report, no comments were received.

RECOMMENDATION:

Staff requests that the Planning Commission open the public hearing, receive public comment, and consider:

1. Adopt Resolution 2019-27 approving Vesting Tentative Tract Map #2019-01 for Mission Village South Phase 5A for the subdivision of approximately 8.85 acres into 10 single-family residential lots ranging from 3,755 square feet to 4,697 square feet and a 7.81 acre remainder parcel. The project site is located on the east of Mercey Springs Road, south of Mission Drive and north of Willmott Avenue; more specifically identified as Assessor's Parcel Numbers: 428-280-012.

ATTACHMENTS:

1. Resolution No. 2019-27 – Vesting Tentative Tract Map #2019-01
Exhibit A: CEQA Findings
Exhibit B: Findings for Approval
Exhibit C: Conditions of Approval
2. Mission Village South Phase 5A Subdivision Vesting Tentative Tract Map
3. Public Hearing Notice – November 29, 2019

RESOLUTION NO. 2019-27

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS BANOS APPROVING VESTING TENTATIVE TRACT MAP #2019-01 FOR MISSION VILLAGE SOUTH PHASE 5A FOR THE SUBDIVISION OF APPROXIMATELY 8.85 ACRES INTO 10 SINGLE-FAMILY RESIDENTIAL LOTS RANGING FROM 3,755 SQUARE FEET TO 4,697 SQUARE FEET AND A 7.81 ACRE REMAINDER PARCEL. THE PROJECT SITE IS LOCATED ON THE EAST OF MERCY SPRINGS ROAD, SOUTH OF MISSION DRIVE AND NORTH OF WILLMOTT AVENUE; MORE SPECIFICALLY IDENTIFIED AS ASSESSOR'S PARCEL NUMBERS: 428-280-012

WHEREAS, the Los Banos General Plan was adopted by the City of Los Banos City Council on July 15, 2009; and

WHEREAS, the subject property has a land use designation of Medium Density Residential (MDR) pursuant to the Los Banos General Plan and is zoned Medium Density Residential (R-2) by the Los Banos Zoning Map and has a Planned Development (PD) overlay; and

WHEREAS, pursuant to CEQA, the CEQA Guidelines, and the City of Los Banos Environmental Quality Guidelines, the Mission Village South Phase 5A, Vesting Tentative Tract Map #2019-01 was previously and adequately evaluated in the Mitigated Negative Declaration (SCH #2001021115) for the Mission Village Area Plan, which was adopted by the City in July 2001; and

WHEREAS, Vesting Tentative Tract Map #2019-01 was reviewed by the Project Review Board on November 12, 2019 and was determined to be in compliance with State laws and the Los Banos Subdivision Code; and

WHEREAS, a public hearing was duly noticed for December 11, 2019, in accordance with California Government Code Section 65091 by advertisement in the Los Banos Enterprise and by mail to property owners within 300 feet of the project boundaries on November 29, 2019, to consider and take testimony regarding the Mission Village South Phase 5A Vesting Tentative Tract Map #2019-01; and

WHEREAS, at the December 11, 2019, Planning Commission meeting the Los Banos Planning Commission, heard and considered testimony, if any, of all persons desiring to be heard; reviewed Vesting Tentative Tract Map 2019-01 and staff report;

studied the compatibility of the applicant's request with adjacent land uses; has considered the applicant's request in accordance with the Vesting Tentative Tract Map criteria established in Title 9, Chapter 2, Article 15 of the Los Banos Municipal Code; and

BASED UPON THE EVIDENCE PRESENTED AT THE PUBLIC HEARING, the Planning Commission of the City of Los Banos does hereby make the findings set forth in Exhibit A (CEQA Findings), and Exhibit B (Findings of Approval), attached hereto and incorporated herein by this reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Los Banos does hereby approve Vesting Tentative Tract Map #2019-01 for Mission Village South Phase 5A for the subdivision of approximately 8.85 acres into 10 single-family residential lots ranging from 3,755 square feet to 4,697 square feet and a 7.81 acre remainder parcel. The project site is located on the east of Mercey Springs Road, south of Mission Drive and north of Willmott Avenue; more specifically identified as Assessor's Parcel Numbers: 428-280-012.

The foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Los Banos held on the 11th day of December 2019, by _____, who moved its adoption, which motion was duly seconded by _____, and the Resolution recommended for approval by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

John Cates, Planning Commission Chairperson

ATTEST:

Sandra Benetti, Planning Commission Secretary

EXHIBIT A

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS FOR VESTING TENTATIVE TRACT MAP #2019-01 – MISSION VILLAGE SOUTH PHASE 5A

Pursuant to the requirements of California Public Resources Code Section 21000 et seq. (“CEQA”) and Title 14, California Code of Regulations Section 15000 et seq. (the “CEQA Guidelines”), the City as Lead Agency under CEQA adopts the following findings required by CEQA, along with the facts and evidence upon which each finding is based.

The City of Los Banos planning commission hereby finds as follows:

1. Pursuant to CEQA, the CEQA Guidelines, and the City of Los Banos Environmental Quality Guidelines, the Mission Village South Phase 5A Vesting Tentative Tract Map #2019-01 was previously and adequately evaluated in the Mission Village Area Plan Mitigated Negative Declaration (SCH #2001021115), which was adopted by the City in July 2001.
2. Mission Village South Phase 5A Vesting Tentative Tract Map #2019-01 was adequately noticed and circulated for public review and comment on November 29, 2019 for consideration at a public meeting on December 11, 2019, in which no comments were received.
3. No further environmental documentation is required as the Mission Village South Phase 5A Vesting Tentative Tract Map #2019-01 was planned and adequately analyzed in the Mitigated Negative Declaration (SCH #2001021115).

EXHIBIT B

FINDINGS FOR APPROVAL OF VESTING TENTATIVE TRACT MAP #2019-01 – MISSION VILLAGE SOUTH PHASE 5A

Based upon the entire record, the City of Los Banos Planning Commission hereby finds as follows:

1. The proposal is consistent with the Los Banos General Plan and Zoning Ordinance.

The project and its improvements are compatible with the objectives, policies, land uses, and programs specified in the Los Banos 2030 General Plan.

The map and improvements conform to the Medium Density Residential Zoning District (R-2) and the Planned Development (PD) overlay for the Mission Village Area Plan. Single-Family Residential dwelling units are permitted in the underlying zoning district per the text of the Los Banos Municipal Code Title 9, Chapter 3, Article 12, Medium Density Residential Zoning District (R-2).

2. The proposal will not be detrimental to the health, safety, comfort, or general welfare of the persons residing or working in the City of Los Banos, or injurious to property or improvements in the surrounding neighborhoods or within the City.

The project meets all applicable City standards pertaining to public health, safety, and welfare (e.g., standards pertaining to public utilities and services, public road design and traffic safety, fire hazards and noise hazards). All public safety measures are addressed through the design and conditions of approval of the Vesting Tentative Tract Map. The street design is satisfactory to the Los Banos Fire Department and City Engineer. The homes will be equipped with automatic residential fire sprinklers and will be required to meet the requirements of the California Building Code, Fire Code, and other applicable City codes and/or requirements. The site is free from toxic or hazardous materials and no earthquake, landslide, flooding, or other natural hazards exist at this site. The proposed single-family residential lots are compatible with the adjacent uses, properties, and neighborhoods, and will not be detrimental or injurious to property or improvements in the neighborhood or to the general welfare of the City. The proposed subdivision design, lot sizes, lot configurations, and proposed infrastructure improvements are adequate to accommodate the density and intensity of the development proposed.

3. The project site is physically suitable for residential development and density.

The property is not in a flood zone or earthquake fault zone. Project construction would involve minimal site grading and alteration of existing topography. Thus, the

project site is physically suitable for the proposed development as there are existing similar residential uses located on the northern portion of Mission Drive. This project will be the continuation of the Mission Village Area Plan. The proposed density is approximately 9.61 units per acre and lot sizes range from 3,755 to 4,697 square feet. The proposed density is consistent with the Medium Density Residential (MDR) General Plan land use density; though the minimum proposed lot size is less than the standard for Medium Density Residential Zoning District (R-2). However, the project site has a Planned Development (PD) overlay in which the variation of the minimum lot size proposed is acceptable.

4. The design of the subdivision or its related improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

No conflicts with easements acquired by the public at large, for access through or use of the property within the proposed subdivision have been identified.

5. The design of the subdivision and improvements covered by the proposed vesting tentative subdivision map will not cause substantial environmental damage and avoidably injure fish and/or wildlife or their habitat.

As part of the environmental assessment that the City adopted in July of 2001, staff found no potential for significant environmental effects. The project site does not include any rare, threatened or sensitive plants or wildlife. No creeks, wetlands, water bodies or mapped environmentally sensitive habitat are located on the project site. Conditions of Approval include conditions that require best management practices to be incorporated before and during construction to minimize impacts to groundwater and surface water quality. The location of the project has been recently developed, in which the majority if not all of the area has been previously disturbed.

6. The discharge of waste from the proposed subdivision would not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board (RWQCB).

Future residential development would not result in the discharge of waste from the project site in violation of existing requirements prescribed by the local RWQCB. Sewer capacity is available for this subdivision. The project would not discharge any waste other than domestic sewage and all sewage would be discharged into the City's sanitary sewer system for ultimate treatment. Storm water runoff would be collected and conveyed through the City's storm water basin retention system in accordance with the City's Storm Drain Master Plan.

7. The restriction on approving a tentative subdivision map on land covered by a land conservation contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act) is not applicable.

The site is not covered by a land conservation contract, including a Williamson Act contract.

8. The design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

There is sufficient northern, southern, eastern, and western exposure to allow for passive heating or cooling systems to be provided on the site. Future homes on the proposed lots could be designed, oriented and set apart from one another in order to incorporate passive heating and cooling opportunities. The homes in the project will comply with the City's residential Green Building Ordinance, which requires that each home achieve a "Green Home" rating on the "Single-Family Green Building Rating System."

EXHIBIT C

CONDITIONS OF APPROVAL FOR VESTING TENTATIVE TRACT MAP #2019-01- MISSION VILLAGE SOUTH PHASE 5A SUBDIVISION

General

1. The applicant shall submit a revised Vesting Tentative Tract Map to the Community and Economic Development Department reflecting any modifications, additions, and/or conditions of approval, within 30 days from Planning Commission approval. If necessary, the revised Vesting Tentative Tract Map shall be reviewed by the City Engineer and the Community and Economic Development Director and signed by the Community and Economic Development Director for purposes of providing a clear record of the approved Vesting Tentative Tract Map.
2. Prior to the recordation of a Final Map the Developer shall form or annex the Subject Property to a Community Facilities District created for the purposes of funding public safety, as authorized by Government Code Section 53313(a) and (b). The form, terms and conditions and the tax rate for the formation of the Mello-Roos district, or in the alternative the annexation of the subject property to an existing district, shall be as approved by the City Council, as determined in its sole and exclusive discretion. District formation or annexation shall be at the sole cost of the Developer.
3. Prior to approval of any Final Map, the Developer shall form or annex the subject property to a Lighting and Landscaping District created for purposes of maintaining public landscape areas, signage and public lighting including a share of traffic signal maintenance costs as authorized pursuant to the Landscape and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code, and Article XIIID of the California Constitution. The form, terms and conditions and the tax rate for the formation of the Lighting and Landscaping District, or in the alternative the annexation of the subject property to an existing district, shall be as approved by the City Council, as determined in its sole and exclusive discretion. It is the intent of the parties that the assessment of the subject property will be apportioned to each parcel in proportion to the special benefit it receives. District formation or annexation shall be at the sole cost of the developer.
4. The project shall be subject to and the Developer shall pay development impact fees enacted by the City, including scheduled or periodic increases as provided for in the adopting ordinance or resolutions in effect at the time of the Developer's request for the issuance of a building permit and/or as included in the Subdivision Improvement Agreement.

5. Approval and life of the Vesting Tentative Tract Maps shall be as set forth in the Los Banos Municipal Code.
6. All development shall be consistent with the Vesting Tentative Tract Map #2019-01 reflecting any amendments added during approval.
7. The Final Map(s) shall be in substantial compliance with the approved Vesting Tentative Tract Map, including any changes set forth in the conditions of approval.
8. A Final Map shall be prepared by a professional land surveyor licensed in California or a professional engineer licensed in California and qualified to practice land surveying, according to the Subdivision Map Act, and local ordinances.
9. At least two points on the Final Map shall be tied to the California State Plane Coordinate System (NAD 83) with ties shown and closure calculations depicting the tie bearings and distances.
10. A letter from the Tax Collector shall be submitted prior to the recording of the Final Map which indicates that taxes have been paid or a bond has been posted.
11. A Final Map Guarantee shall be prepared and provided to the County Recorder.
12. When the submittal has been technically approved, the original mylars and a conforming mylar will be signed and notarized (notary shall not be stamped on the map) and delivered to the Public Works Department.
13. Developer shall include a Public Utility Easement of ten (10) feet along all road frontages.
14. For all properties within 1,000 feet of agricultural operations, deed notices shall be recorded with the final map. The deed notice shall require property purchasers to acknowledge the existing and ongoing commercial and/or agricultural uses on adjacent and nearby properties, and the Merced County Right-to-farm Ordinance.
15. Building Master Plans shall be approved by the Community and Economic Development Department and Building Department prior to issuance of the first building permit and the architecture shall be consistent with the Final Development Plan.
16. Improvement Plans shall be submitted to the City for approval prior to/or concurrent with the application for each final map and the following note

shall be required: "The Contractor is responsible for protecting and preserving survey monuments and other survey markers. Any survey monuments damaged as a direct or indirect result of construction activities shall be re-established by a duly licensed land surveyor at the Contractor's sole expense. A corner record shall be filed in accordance with State law for any reset monuments at the Contractor's sole expense."

17. Improvement Plans shall include a street signage and striping plan to be approved by the Public Works Director/City Engineer.
18. On-site improvements may be constructed prior to the recording of the final map subject to City approval of Improvement Plans and payment of applicable plan check and inspection fees, and satisfaction of all construction conditions of approval.
19. Off-site public improvement plan(s) shall be submitted to the Public Works Department for approval prior to/or concurrent with the application for the Final Map. The developer shall not commence off-site improvements until approval is received by the Public Works Department. The developer shall enter into a subdivision improvement agreement with the City and provide labor and maintenance bonds in an amount of 100% of the Engineer's Estimate for public improvements to be completed following recordation of the Final Map.
20. A completed Final Development Plan must be submitted to staff when submitting for the Final Map so that the Final Development Plan is processed and approved concurrently with the Final Map.
21. The Final Development Plan shall be approved by the Planning Commission and City Council prior to submittal of a building permit.
22. The project is subject to the appropriate Development Impact Fees as established by the City.
23. Private property owners shall be responsible for the maintenance of sound walls and decorative masonry walls located on private property.
24. The applicant shall obtain City approval in advance for permanent and temporary on-site and off-site signs through separate sign reviews and bonding consistent with the development criteria of the Los Banos Municipal Code – Sign Ordinance.
25. It is the applicant's responsibility to ensure that the development complies with the Americans with Disabilities Act requirements.
26. It shall be the responsibility of the applicant to convey copies of the conditions of approval to all contractors and sub-contractors.

27. Building permits will be issued in accordance with City Subdivision Policy that identifies the improvements required in order for a building permit to be issued.
28. If parking for model homes is to be provided in a temporary parking lot, such lot shall be approved by the Community and Economic Development Director as a commercial lot conforming with Los Banos Municipal Code Section 9-3.2009, and shall be removed within 60 days of the end of sales, if not intended to serve a permanent use.
29. All structures, foundations, and footings for future buildings on the project site shall be designed and constructed to conform with the current Uniform Building Code for Seismic Zone 4 to minimize structural damage resulting from potential seismic activity.
30. An engineering soils report shall be prepared for all projects in order to identify soil characteristics requiring special structural design. On-site and off-site structural design shall conform to the findings and recommendation of the engineering soils report. The report shall be prepared prior to issuance of a grading permit, subject to review and approval of the Los Banos City Engineer.
31. Prior to issuance of building permits for development of sensitive residential land uses (e.g. houses, schools, parks, day care), or other uses in which persons may contact soils), a Phase 1 environmental assessment shall be prepared to determine if soils contain hazardous materials. If necessary, a remediation plan shall be created and implemented. The assessment and any necessary remediation plans shall be subject to the approval of the Community Development Department.
32. The project site is subject to the Northgate Sanitary Sewer Reimbursement Agreement for the fair share costs of oversizing the sewer lift station and the construction of sewer mains which benefit APN: 428-280-012 and shall be made payable to the City of Los Banos prior to issuance of a building permit.
33. Improvement Plans and Grading Plans shall delineate the location and design of all required walls and fences including retaining walls.
34. Improvement Plans shall include mailbox locations, which must be approved by the US Postmaster and the City of Los Banos.
35. Undeveloped portions of the subdivision shall be controlled of weeds and free of debris and litter.
36. Prior to issuance of building permits for development on the project site, if the project site has remained fallow and reverted to grassland vegetation, the following measures shall be required, subject to the review and approval of the City of Los Banos Community Development Department:

- a. A pre-construction survey shall be conducted by a qualified biologist for burrowing owls within 30 days of the on-set of construction according to methods described in the Staff Report on Burrowing Owl Mitigation (CDFG 1995).
 - b. If pre-construction surveys undertaken during the breeding season (February through July) locate active nest burrows within or near construction zones, these nests, and an appropriate buffer around them (as determined by a qualified biologist) must remain off-limits to construction until the breeding season is over. The CDFG recommends setbacks from occupied nest burrows of 100 meters where construction will result in the loss of foraging habitat.
 - c. During the non-breeding season (August through January), resident owls may be relocated to alternative habitat. The relocation of resident owls must be according to a relocation plan prepared by a qualified biologist in consultation with the California Department of Fish and Game. Passive relocation is the preferred method of relocation. This plan must provide for the owls relocation to nearby lands possessing available nesting and foraging habitat.
37. Due to the possibility that significant buried cultural resources might be found during construction, the following language shall be included in any permits issued for the project site, including, but not limited to building permits for future development, subject to the review and approval of the Los Banos Planning Division:

“If archaeological resources or human remains are discovered during construction, work shall be halted at a minimum of 200 feet from the find and the area shall be staked off. The project developer shall notify a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented.”

38. In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the City shall ensure that this language is included in all permits in accordance with CEQA Guidelines section 15064.5(e):

“If human remains are found during construction there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the Los Banos Police Department contacts the coroner of Merced County to determine that no investigation of the cause of death is required. If the coroner determines the remains to be Native American, the coroner shall contact the Native American Heritage Commission within 24 hours. The Native American Heritage Commission shall identify the person or persons it believes to be

the most likely descendent from the deceased Native American. The most likely descendent may then make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and associated grave goods as provided in Public Resources Code Section 5097.98. The landowner or his authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance if: a) the Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 24 hours after being notified by the commission; b) the descendent identified fails to make a recommendation; or c) the landowner or his authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.”

36. Prior to issuance of a building permit, dust control requirements consistent with SJVAPCD District Rule VIII shall be included in all construction contract specifications to reduce significant levels of construction contract specifications to reduce significant levels of construction-related hazardous air emissions.
- a. All disturbed areas, including storage piles, which are not being actively utilized for construction purposes, shall be effectively stabilized of dust emissions using water, chemical stabilizer/suppressant, or vegetative cover.
 - b. All on-site unpaved roads and off-site unpaved access roads shall be effectively stabilized of dust emissions using water or chemical stabilizer/suppressant.
 - c. All land clearing, grubbing, scraping, excavation, land leveling, grading, and cut and fill activities shall be effectively controlled of fugitive dust emissions utilizing application of water or by presoaking.
 - d. When materials are transported off-site, all material shall be covered, effectively wetted to limit visible dust emissions, or at least six inches of freeboard space from the top of the container shall be maintained.
 - e. All operations shall limit or expeditiously remove the accumulation of mud or dirt from adjacent public streets at least once every 24 hours when operations are occurring. (The use of dry rotary brushes is expressly prohibited except where preceded or accompanied by sufficient wetting to limit the visible dust emissions. The use of blower devices is expressly forbidden.)
 - f. Following the addition of materials to, or the removal of materials from,

the surface of outdoor storage piles, said piles shall be effectively stabilized of fugitive dust emissions utilizing sufficient water or chemical stabilizer/suppressant.

37. Prior to issuance of building permits, developers shall include the following requirements in all construction bids and documents including contracts (and implemented during construction activities) for the purpose of reducing diesel particulate and acrolein emissions during construction of the project:
 - a. All pre-1994 model year and older diesel equipment shall be retrofitted with EPA-certified diesel oxidation catalyst filters;
 - b. Contractor shall maintain records of all purchases of diesel oxidation catalyst filters or biodiesel fuel until construction is complete; and
 - c. The SJVAPCD shall have the right to inspect all construction and demolition equipment, as well as the contractor's records at any time during demolition and construction.
38. **This approval is conditioned upon and shall be effective upon payment in full of all outstanding invoices pursuant to the Cost Recovery Contract.**

Pre-Construction and Construction

39. A minimum 200-foot separation shall be maintained between residences and material stockpiles, debris piles or containers and equipment storage during the construction process. If such storage must be located within 200 feet of a residence, a six-foot high opaque fence shall shield the storage area from view when the storage area is inactive for more than eight hours. This requirement shall be incorporated into the specifications for all construction plans, subject to review and approval by the City of Los Banos Community and Economic Development Department.
40. Two points of all-weather access shall be provided to all areas of the development during all phases of construction to the satisfaction of the Fire Department in areas where residential units are under construction.
41. Temporary construction trailers shall be permitted only in areas immediately adjacent to or within that portion of the subdivision where active subdivision construction is taking place. Placement of said construction trailer is subject to the Community and Economic Development Director approval in accordance with Title 9, Chapter 3, Article 38, Temporary Use Ordinance of the Los Banos Municipal Code.
42. During construction, and for safety purposes, the developer and assigned contractors shall keep the public right-of-way clear of obstructions, and provide for clean up on a daily basis.

43. Prior to issuance of grading permits, the grading plans shall include the following language:

“Large bulldozers, loaded trucks, or heavy equipment which causes significant ground vibration will not operate closer than 50 feet to an occupied residence without notifying the resident 48 hours in advance of construction work.”

44. Prior to acceptance of public improvements, all entries to the subdivision shall be barricaded to prevent the public from entering the construction site.

45. Undeveloped portions of development sites shall be controlled of weeds and free of debris and litter. The applicant shall provide protection against wind and water soil erosion on undeveloped portions of the project site. Temporary vegetation on undeveloped portions of the project site shall not be allowed to grow taller than eighteen inches.

46. All contractors and subcontractors performing work relative to this project shall obtain City of Los Banos Business Licenses, prior to start of work on the project. All work performed on the project shall comply with the requirements of the State Business and Professions Code.

47. Building permits shall be issued in accordance with the Los Banos Municipal Code and Standards and Specifications that identifies the improvements required in order for a building permit to be issued.

48. The developer shall be responsible for obtaining encroachment permits from the City of Los Banos, County of Merced, Caltrans, or other jurisdictions prior to performing any work within that jurisdiction’s right-of-way.

49. Construction shall be limited to those times allowed by City Ordinance: Monday through Friday from 7:00 am to 7:00 pm; Saturday from 8:00 am to 7:00 pm; and Sunday from 9:00 am to 7:00 pm. Properly muffled equipment shall be used.

50. The developer shall incorporate soil erosion control measures into grading and drainage plans that comply with NPDES storm water regulations. These measures shall be monitored for effectiveness by the City of Los Banos. Such measures may include, but not be limited to, the following:

- a. Limit disturbance of soils and vegetation disturbance removal to the minimum area necessary for access and construction;
- b. Confine all vehicular traffic associated with construction to the right-of-way of designated access roads;
- c. Silt fencing installed in accordance with the American Society for Testing and Materials standard D6462.

- d. Adhere to construction schedules designed to avoid periods of heavy precipitation or high winds;
 - e. Ensure that all exposed soil is provided with temporary drainage and soil protection when construction activity is shut down during the winter periods;
 - f. Inform construction personnel prior to construction and periodically during construction activities of environmental concerns, pertinent laws and regulations, and elements of the proposed erosion control measures;
 - g. Compliance with National Pollution Discharge Elimination System (NPDES) permits administered by the California Regional Water Quality Control Board; and
 - h. Development of a plan to employ best management practices that reduce the level of pollutants discharged into natural waterways and wetlands.
51. Silt fencing shall be installed in accordance with American Society for Testing and Materials Standard D6462.
52. Where standard corner lot side yards abut a street, a minimum three-foot landscaping area shall be provided between the back of sidewalk and the fence.
53. Restricted access rights shall be irrevocably offered for dedication to the City along the rear edge of private property where properties back onto streets, and shall be shown on final maps.
54. During construction activities, all food-related trash items shall be enclosed in sealed containers and regularly removed from the project site to avoid attracting wildlife to the project site, and pets shall not be allowed on the construction site.

Air Quality:

55. Housing units shall be oriented to maximize passive solar cooling and heating when practicable.
56. Gas fired appliances shall be low NOx emitting appliances complying with California NOx Emission Rule #1121.
57. The developer shall comply with all applicable Indirect Source Rule requirements of the San Joaquin Valley Air Pollution Control District. Developer shall prepare an air emissions reduction if required.

Access and Circulation:

58. All street traffic impact fee reimbursements shall be per the Transportation Impact Fee program (TIF).
59. The developer shall submit public improvement plans to include curb, gutter, sidewalk, street lights, decorative masonry wall, underground utilities and a landscape plan for public areas.
60. The developer shall be responsible for constructing public streets per the Vesting Tentative Tract Maps including, but not limited to curb, gutter and sidewalk, decorative masonry wall, and landscaping where noted. Improvements to arterials and collector streets shall be completed prior to occupancy of any use within the project boundaries, and improvements to neighborhood streets shall be complete prior to occupancy of any house that requires the street for access.
61. All street signage and striping within the project area shall be approved by the Public Works Department and shall meet all line-of-sight requirements.
62. Prior to acceptance of subdivision improvements, the developer shall install all street and traffic control signs, pavement striping, and street name signs in accordance with the public improvement plans and City and/or Caltrans standards.
63. Final Map(s) shall show a non-access strip 12 inches in width on private property along the frontage of arterial and collector streets, except at driveways, for the purpose of constructing sound walls and decorative masonry walls.
64. The developer shall be responsible for obtaining encroachment permits from the City of Los Banos prior to performing any work within the City's right-of-way.
65. The developer shall design and install traffic calming measures throughout the project area as approved by the City Engineer.
66. Traffic calming measures may include, but are not limited to, raised intersections, speed cushions, stop signs, varied cross sections, and roundabouts.

Utilities:

67. The applicant shall construct water, sewer, and storm drainage facilities as noted on the Vesting Tentative Tract Map, in accordance with City standards. The project shall comply with the current City Plans, Standards, and Specifications, all Master Plan requirements, and the applicant shall work with the Public Works Department in regards to needed infrastructure and

development during the Improvement Plan Review stage. The project shall also be developed in consistency to the proposed Final Development Plan to be submitted by the applicant.

68. The applicant shall repave Mission Drive to City Standards once all utility connections and associated work has been completed.
69. Existing utility easements shall be preserved. If existing utilities and/or easements are relocated for the benefit of a developer, that developer shall be fully responsible for the relocation including all expenses.
70. In conformance with the Subdivision Map Act, the developer shall permit installation of underground cable television delivery systems within public utility easements. All dwellings shall be made cable ready.
71. Prior to approval of Improvement Plans or Final Maps, the developer shall obtain any necessary easements for utilities across adjoining properties and signatures from the Irrigation District or other public agencies for relocated facilities.
72. All existing overhead utilities shall be placed underground with the exception of high voltage power lines. No new overhead utility lines and equipment shall be shown on Improvement Plans and Grading Plans.
73. Where the invert is six feet or greater below finish grade, a minimum clearance of five feet from lip of gutter to the edge of pipe shall be provided for underground utility lines.

Water:

74. The proposed project shall conform to the requirements of the Los Banos Water Master Plan, including payment of the water connection impact fee.
75. Approved backflow devices shall be installed as required.
76. Domestic water services shall not be placed in driveways.

Sewer:

77. The developer shall construct all on-site and off-site sewer facilities necessary to serve the project, subject to reimbursement for over-sizing, as determined by the City.
78. Prior to submission of improvement plans for the first phase of development, a Master Sewer Plan for the development shall be submitted, reviewed, and approved by the Public Works Director/City Engineer.

Storm Drainage:

79. Final Improvement Plans for the storm drainage system shall utilize the TR-55 analysis method.
80. All development shall comply with the Phase II storm water regulations and the City's MS4 Storm Water Permit.
81. Final Improvement Plans for the storm drainage system shall be submitted to the City and reviewed and approved by the City Engineer prior to issuance of a grading permit.
82. The Developer shall generate a Storm Water Pollution Prevention Plan (SWPPP) for pre and post construction best management practices (BMPs). A Notice of Intent (NOI) shall be submitted and approved prior to construction by the State Department of Water Resources.

Public Safety:

83. Fire department requirements for the placement of fire hydrants shall be complete prior to approval of development permits.
84. Fire hydrants shall be installed at locations approved during the Improvement Plan stage and shall be installed based upon City standards.
85. The developer, as specified by City development standards, shall install "Blue Dot" fire hydrant locators.
86. Each residence shall have a 6-inch lighted address numbers of contrasting color installed on the front elevations or alternative size as agreed to by developer and Fire Chief.
87. The developer shall comply with the City Fire Codes and regulations subject to Fire Department approval in regards to building requirements, fire hydrant placement, and sprinkler requirements.
88. Fire hydrants (or other methods approved by the Fire Chief) shall be in place and functioning prior to approval of the first residential building permit. Fire hydrants (or other methods approved by the Fire Chief) shall be operational to the satisfaction of the Fire Chief prior to combustible material being located on the site.
89. No combustible materials shall be on-site prior to the approval of the Fire Department.
90. Prior to placement of combustible materials on the site, two points of all-weather access, at least one paved, shall be provided for each phase, to the satisfaction of the Fire Chief.

91. Street names shall be approved by the Fire Department.
92. Paved surface streets shall be a minimum of 32-foot curb-to-curb.
93. Minimum water lines shall be 8-inch.
94. Driveways, parking lots, water lines, fire hydrants, and underground utilities shall be completed prior to issuance of building permits.
95. Upon completion and approval of the project plans, a CD shall be submitted to the Fire Department providing information on street layout, hydrant locations, water mains, storm drain inlets (i.e. Fire Department pre-planning).

Public Works

96. All improvements shall conform to the latest addition of the Los Banos Municipal Code and the Standards and Specifications.
97. All existing groundwater wells within the map boundary shall be abandoned to Merced County standards. The City will require copies of the well destruction permits.
98. Streetlights are to be installed per City Standards. They shall be "Cobra" style with LED lights. The streetlights shall meet the illumination standards in the City Street Light standards.
99. Streets shall be designed per the City's Improvement Standards and Specifications. The following Traffic Index's shall be used: cul-de-sac, 4.0; local streets, 5.0.
100. Prior to recordation of the Final Map, a Subdivision Improvement Agreement shall be signed between the Developer and the City. The Agreement shall outline fees, performance dates, bonding and insurance requirements, and other pertinent requirements of the project.
101. An Improvement Plan, reviewed and approved for conformance by the Public Works Director/City Engineer, shall be designed and approved before the Final Map is recorded.
102. Prior to the approval of the Improvement Plans, the street sections for all streets shall be approved by the Public Works Director/City Engineer.
103. Curb returns shall be done per City of Los Banos Standards and Specifications.

104. The developer shall incorporate traffic calming measures, including City standard speed cushions into the project as this will be a required element of the signage and striping street plan.
105. The Developer shall provide tree type and location of tree on landscaping plan in compliance with the City of Los Banos Municipal Code.

Landscaping:

109. All residential lots shall have fully landscaped front yards prior to occupancy of each dwelling. Front yard landscape plans shall be submitted with the development Master Plans prior to building permit issuance and shall be approved by the Public Works Director/City Engineer and Community and Economic Development Director.
106. Draught tolerant planting may replace front yard turf as approved by the Community and Economic Development Department and Public Works Department.
107. The developer shall comply with the adopted street tree ordinance.
108. The applicant shall submit landscape and irrigation plans with each phase of the improvement plans for City review and approval of streetscape landscaping.
109. Landscape plans for single-family residences shall utilize drought tolerant plantings for no less than 75 percent of front yards. Turf varieties shall be chosen for drought tolerance. Irrigation systems shall be set to minimize water use and spillage onto paved areas.
110. Landscape plans shall emphasize deciduous shade tree plantings for the project.
111. Landscaping along streets shall utilize all drought tolerant plantings. Irrigation systems shall be designed and operated to minimize water use and spillage onto paved areas. The applicant shall submit an irrigation conservation plan for the approval of the Public Works Director/City Engineer. The irrigation conservation plan shall indicate the amount of water applied in each zone, frequency of irrigation, method of matching irrigation to soil moisture conditions, and for drought-tolerant plantings, an irrigation reduction or phase out plan when plantings are well-established.
112. Landscape plans shall be designed in accordance with Title 9, Chapter 6, Water Efficient Landscape Ordinance of the Los Banos Municipal Code.

Architecture

113. All development shall conform to the City's applicable design guidelines and standards.
114. The interface between the street and houses shall be designed to alleviate the monotony of straight building lines along the street frontage, and facilitation of a "pedestrian friendly" streetscape that encourages community interaction. Possible approaches include, but are not limited to: varying the size of individual dwellings, staggering the front yard setbacks, varying exterior building materials and colors, articulating building facades, including enhanced fenestration and trim, trellis work, or large porches on front elevations, setting garages back from the living areas, and/or utilizing extensive landscaping.
115. Development of the project is subject to approval of the Final Development Plan.

Fencing:

116. Where the project boundary abuts existing good-neighbor residential fences, the Developer shall replace with new fences in accordance with the requirements of the Los Banos Municipal Code.

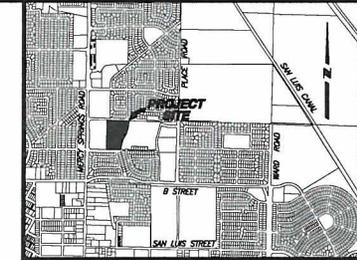
Notice: this approval may contain fees, dedications, reservations or other exactions as defined by the Mitigation Fee Act (Government Code Section 66000 et seq.). This notice triggers the 90 day protest period as provided for by the Mitigation Fee Act.

VESTING TENTATIVE SUBDIVISION MAP MISSION VILLAGE SOUTH PHASE 5A

LOS BANOS, CALIFORNIA

BEING A SUBDIVISION OF AN ADJUSTED LOT 4 AS FILED FOR RECORD ON
FEBRUARY 27, 2019 AS DOCUMENT NO. 2019-005704, MERCED
COUNTY RECORDS, SITUATED IN THE NORTHERN HALF OF SECTION 13,
TOWNSHIP 10 SOUTH, RANGE 10 EAST,
MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF LOS BANOS,
MERCED COUNTY, STATE OF CALIFORNIA

SCALE 1" = 80'



VICINITY MAP

INDEX

SHEET NO.	DESCRIPTION
2	COVER SHEET
3	HORIZONTAL CONTROL PLAN
4	GRADING PLAN UTILITY PLAN

OWNER
TREVINO PROCEED, LLC
823 F. MAGRADO BLVD.
LOS BANOS, CA 93831
(209) 828-8000 (PHONE)

SUBDIVIDER
STONERED HOME INC.
823 PROCEED BLDG., SUITE C
LOS BANOS, CA 93831
(209) 828-8000 (PHONE)
(209) 828-8000 (FAX)
CONTACT: RHETT SALVA

STATEMENT OF SUBDIVIDER
(AS REQUESTED BY CITY OF LOS BANOS MUNICIPAL CODE, ARTICLE 10 & SECTION B-2.603.)

- ASSESSORS PARCEL NO. 428-280-011, 428-280-012
- EXISTING ZONING: R-27.50 (SINGLE-FAMILY WITH PLANNED DEVELOPMENT OVERLAY)
- EROSION CONTROL PER CITY OF LOS BANOS ORDINANCES AND STANDARDS.
- FRONT YARD SETBACKS AND BUILDING LINES PER PLANNED DEVELOPMENT.
- WATER SUPPLY: BY CITY OF LOS BANOS AS SHOWN ON THIS MAP.
ANTICIPATED WATER DEMANDS: (RESIDENTIAL)
AVERAGE DAILY FLOW = 800 GPD X 10 UNITS = 8,000 GPD
PEAK HOURLY DEMAND = 4 X 8,000 / 1,440 = 106.67 GPM
MAX. DAILY FLOW + FIRE = 2 X 8,000 / 1,440 + 2,000 GPM = 2,008.33 GPM
- SEWAGE DISPOSAL:
ANTICIPATED SEWER DEMANDS: (RESIDENTIAL)
AVERAGE DAILY FLOW = 300 GPD X 10 UNITS = 3,000 GPD
PEAK FLOW = 3,000 GPD X 3 / 1,440 = 6.25 GPM
- STORM DRAINAGE: BY CITY OF LOS BANOS AS SHOWN ON THIS MAP.
- A 10' PUBLIC UTILITY EASEMENT SHALL BE DEDICATED ALONG ALL STREET FRONTS.
- RESTRICTIVE COVENANTS TO BE SUBMITTED AT THE TIME OF FINAL MAP (IF ANY)
- TREE TYPE AND LOCATION SHALL BE DETERMINED BY CITY OF LOS BANOS
- WATER SUPPLY AND SEWAGE DISPOSAL SHALL BE COMPLIED WITH AS PER ARTICLE 6 OF TITLE 8 OF THE MUNICIPAL CODE.
- ALL IMPROVEMENTS AND PUBLIC FACILITIES WILL BE INSTALLED OR CONSTRUCTED AT THE TIME OF DEVELOPMENT. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ARTICLES 4 AND 5 OF TITLE 8 OF THE MUNICIPAL CODE, REGULATIONS AND STANDARDS.
- DEVELOPER RESERVES THE RIGHT TO SELL LOTS ONLY.
- THE SUB-DIVIDER HEREBY RESERVES THE RIGHT TO FILE MULTIPLE SUBDIVISION MAPS AS SET FORTH BY THE SUBDIVISION MAP ACT, ARTICLE 4, SECTION 85408.1.
- A GENERAL PLAN AMENDMENT, RETRO AND PRELIMINARY DEVELOPMENT PLAN WILL BE FILED CONCURRENTLY WITH THE FILING OF THIS MAP.

- NOTES**
- ALL WELLS AND SEPTIC TANKS TO BE ABANDONED PER MERCED COUNTY HEALTH DEPARTMENT STANDARDS.
 - NO AREAS SUBJECT TO NAVIGATION BY THE ANNUAL CHANCE STORM.
 - NO STRUCTURES PRESENTLY EXIST ON SITE.
 - TOTAL AREA OF THIS SUBDIVISION IS 61.7 ACRES CONTAINING 2 PARCELS.
 - EXISTING IRRIGATION FACILITIES TO BE ABANDONED, IF NOT REQUIRED, OR RELOCATED IN PREPARED ALONG NEW PROPERTY LINES.
 - FINAL DEVELOPMENT PLAN WILL BE REQUIRED PRIOR TO ANY HOME CONSTRUCTION.
 - SUBDIVIDER RESERVES THE RIGHT TO SELL FINISHED LOTS.

LEGEND

EXISTING	PROPOSED
WATER MAIN	WATER MAIN
FIRE HYDRANT	N/A
ELECTRICAL	N/A
STANDARD MANHOLE	STANDARD MANHOLE
STORM INLET	STORM INLET
WATER LINE	WATER LINE
SAWDRY SEWER	SAWDRY SEWER
STORM DRAIN	STORM DRAIN
FINO ELEVATION	FINO ELEVATION
DIRECTION OF FLOW	DIRECTION OF FLOW
GRADE ELEVATION	GRADE ELEVATION
ORIGINAL GROUND	N/A
CURB, GUTTER AND SIDEWALK	CURB, GUTTER AND SIDEWALK
TYPICAL RETURN WITH HANDICAP RAMP	TYPICAL RETURN WITH HANDICAP RAMP
TOP OF CURB GRADE AT LOT LINE EXTENSION	N/A

APPROVED BY THE PLANNING DEPARTMENT, CITY OF LOS BANOS, CALIFORNIA

BY: STACY SOUZA ELM, SENIOR PLANNER DATE: _____
REVIEWED BY THE COMMUNITY DEVELOPMENT DEPARTMENT FOR CONFORMANCE WITH PLANNING COMMISSION RESOLUTION 2016-13, VESTING TENTATIVE TRACT MAP 2015-01.



NO.	REVISIONS	DATE	APPROVED

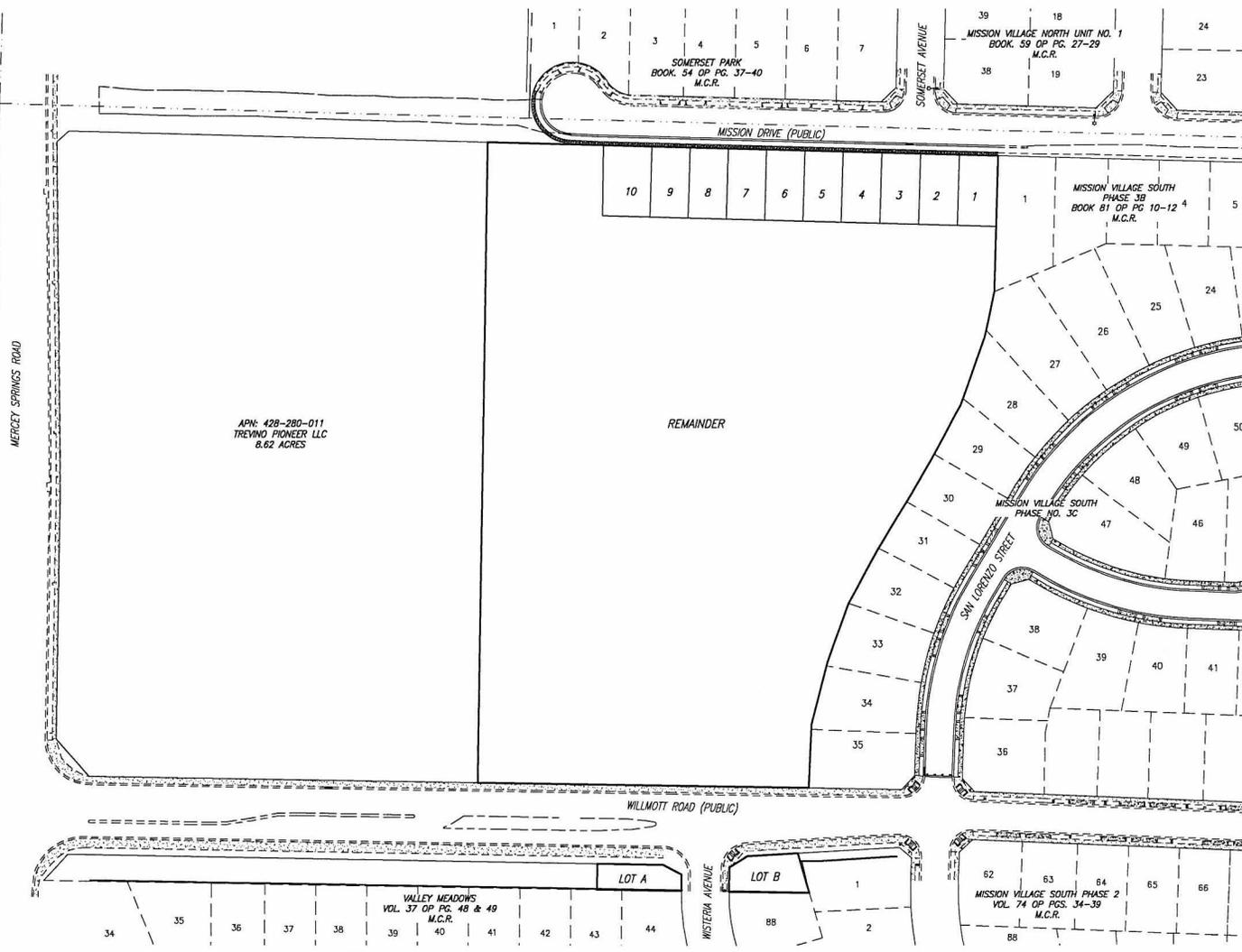
BENCHMARK ENGINEERING & LAND SURVEYING, INC.
CIVIL ENGINEERING & LAND SURVEYING
1000 N. GARDEN STREET, SUITE 200
LOS BANOS, CALIFORNIA 93801
TEL: (209) 787-0400
FAX: (209) 787-0400



COVER SHEET
VESTING TENTATIVE MAP FOR:
MISSION VILLAGE SOUTH PHASE 5A
LOS BANOS, CALIFORNIA

JOB NO. 208230
DATE: 2019-05-24
DRY BY: NRS
CHK BY: RM
SCALE: AS SHOWN

SHEET NUMBER
1
OF 4 SHEETS

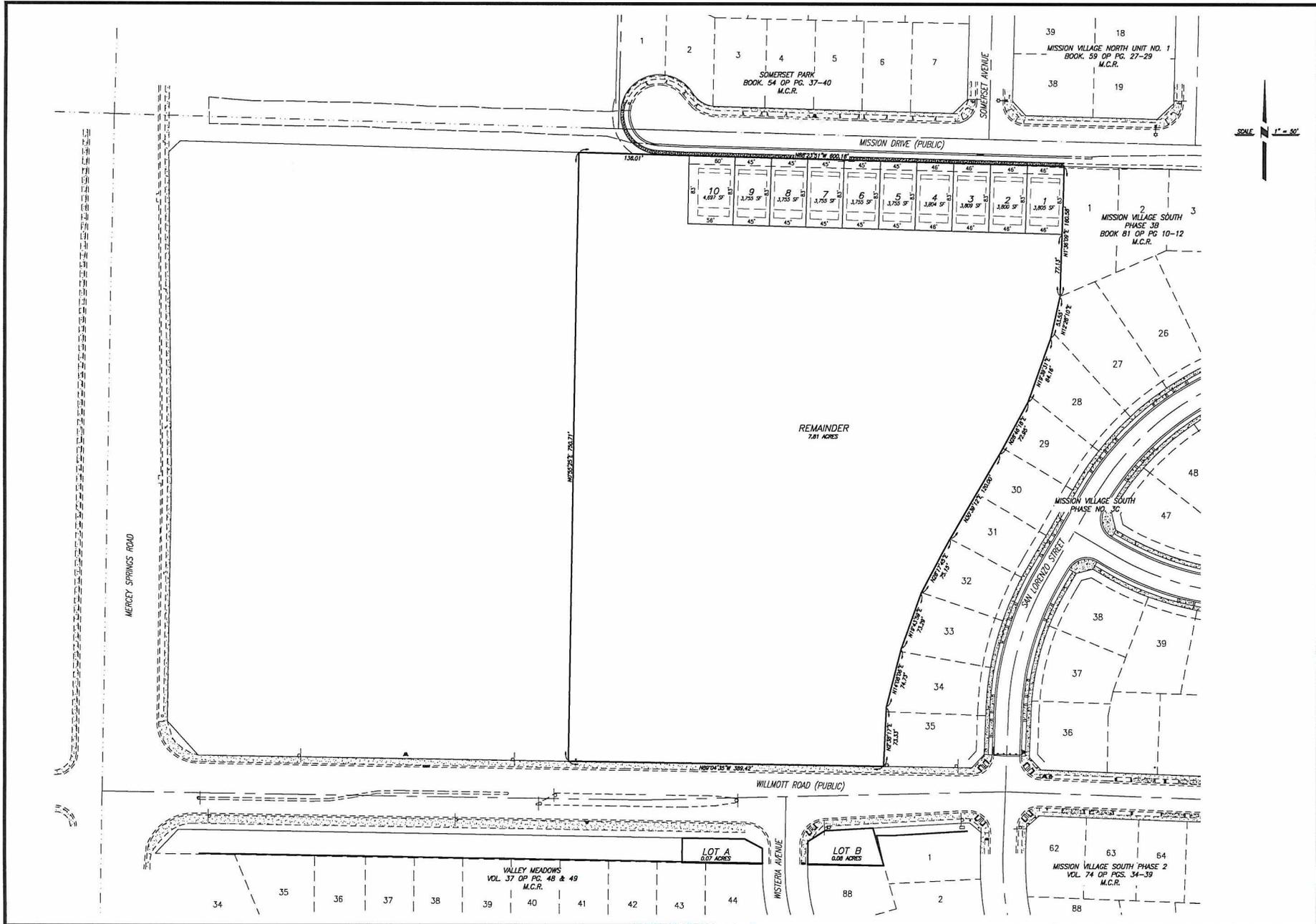


APN: 428-280-011
TREVINO PIONEER LLC
6.62 ACRES

REMAINDER

VALLEY MEADOWS
VOL. 37 OP. PG. 48 & 49
M.C.R.

MISSION VILLAGE SOUTH PHASE 2
VOL. 74 OP. PGS. 34-39
M.C.R.



REVISIONS

NO.	DESCRIPTION	DATE	APPROVED

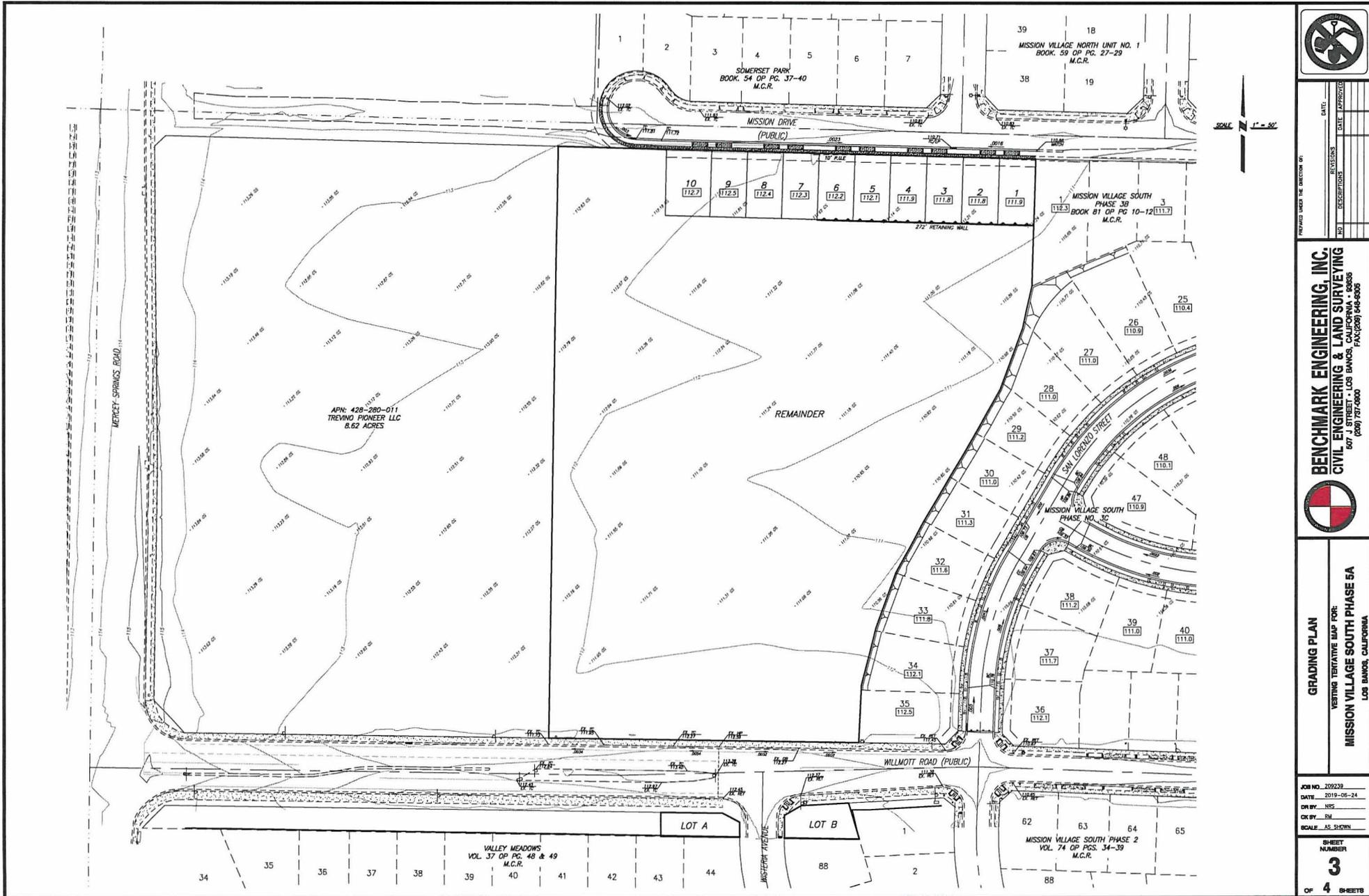
FORWARDED UNDER THE DIRECTION OF:

BENCHMARK ENGINEERING, INC.
CIVIL ENGINEERING & LAND SURVEYING
 5415 W. 106th Street
 Los Banos, CA 95205
 (209) 757-0600

HORIZONTAL CONTROL PLAN
 TENTATIVE MAP FOR:
MISSION VILLAGE SOUTH PHASE 5A
 LOS BANOS, CALIFORNIA

JOB NO. 229239
 DATE: 2019-06-24
 DR BY: NIS
 CK BY: SM
 SCALE: AS SHOWN

SHEET NUMBER
2
 OF 4 SHEETS



PREPARED UNDER THE DIRECTION OF:

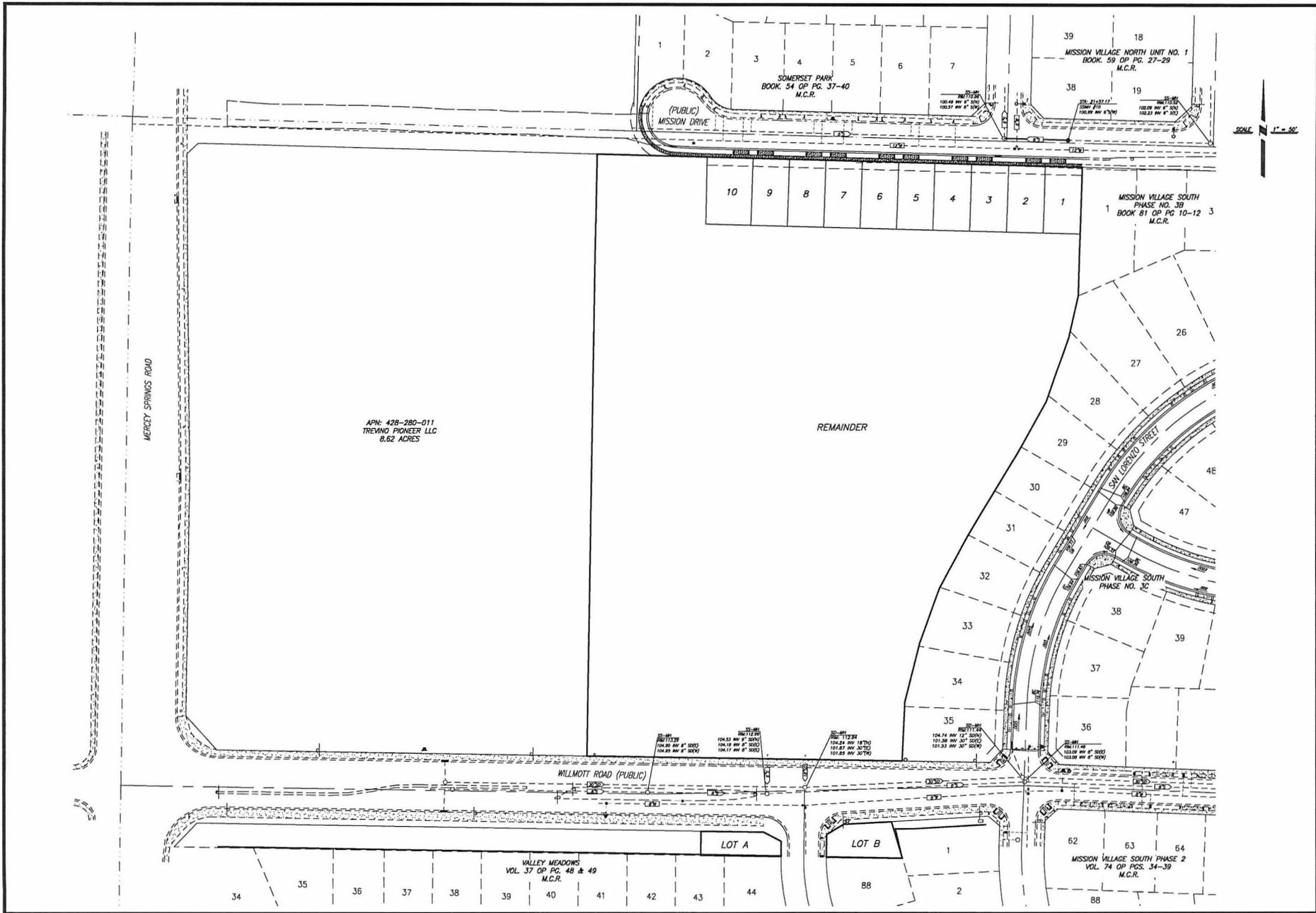
NO.	DESCRIPTIONS	DATE	APPROVED

BENCHMARK ENGINEERING, INC.
CIVIL ENGINEERING & LAND SURVEYING
 607 J STREET - LOS BANOS, CALIFORNIA - 93836
 (209) 757-0800 FAX (209) 649-8005

GRADING PLAN
 VERIFYING TENTATIVE MAP FOR:
MISSION VILLAGE SOUTH PHASE 5A
 LOS BANOS, CALIFORNIA

JOB NO. 209239
 DATE: 2019-06-24
 DR BY: NRS
 CK BY: RM
 SCALE: AS SHOWN

SHEET NUMBER
3
 OF 4 SHEETS



DATE:	DATE APPROVED:
REVISIONS:	
NO.	DESCRIPTIONS

PREPARED UNDER THE DIRECTION OF:

BENCHMARK ENGINEERING, INC.
CIVIL ENGINEERING & LAND SURVEYING
 5617 J STREET - LOS BANOS, CALIFORNIA 93830
 (209) 757-0600

UTILITY PLAN
 VESTING TENTATIVE MAP FOR:
MISSION VILLAGE SOUTH PHASE 5A
 LOS BANOS, CALIFORNIA

JOB NO. 209239
 DATE: 2019-06-24
 DRAWN BY: NBS
 CHECKED BY: RM
 SCALE: AS SHOWN

SHEET NUMBER
4
 OF 4 SHEETS



City of
Los Banos
At the Crossroads of California

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

Date: November 29, 2019

Re: Notice of Public Hearing

Proposal: Vesting Tentative Tract Map #2019-01- Mission Village South Phase 5A

NOTICE IS HEREBY GIVEN THAT a Public Hearing will be held by the Los Banos Planning Commission to consider Vesting Tentative Tract Map #2019-01 for Mission Village South Phase 5A. The proposed project consists of the subdivision of approximately 8.85 acres into 10 single-family residential lots ranging from 3,755 square feet to 4,697 square feet and a 7.81 acre remainder parcel. The project site is located on the east of Mercey Springs Road, south of Mission Drive and north of Willmott Avenue; more specifically identified as Assessor's Parcel Numbers: 428-280-012.

A PUBLIC HEARING on this matter will be held at the next scheduled meeting of the Planning Commission on Wednesday, December 11, 2019 at 7:00 p.m. in the Council Chambers of Los Banos City Hall located at 520 "J" Street. Questions regarding the above-referenced item may be directed to Rudy Luquin, Associate Planner at City Hall or at (209) 827-2432.

All persons are invited to be present at the public hearing. Written and oral testimony is invited. Notice is hereby further given that if you challenge the above described Project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this Notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Additional information may be obtained from the Community & Economic Development Department at 520 J Street, Los Banos, California. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Office of the City Clerk at (209) 827-7000. Notification at least 72 hours prior to the public hearing will enable the City to make reasonable arrangements to allow participation at this hearing

THE CITY OF LOS BANOS

A handwritten signature in blue ink, appearing to read 'Rudy Luquin', is written over the printed name.

Rudy Luquin
Associate Planner

DESIGN REVIEW STUDY SESSION

TO: Chairman Cates and Planning Commissioners

FROM: Rudy Luquin, Associate Planner 

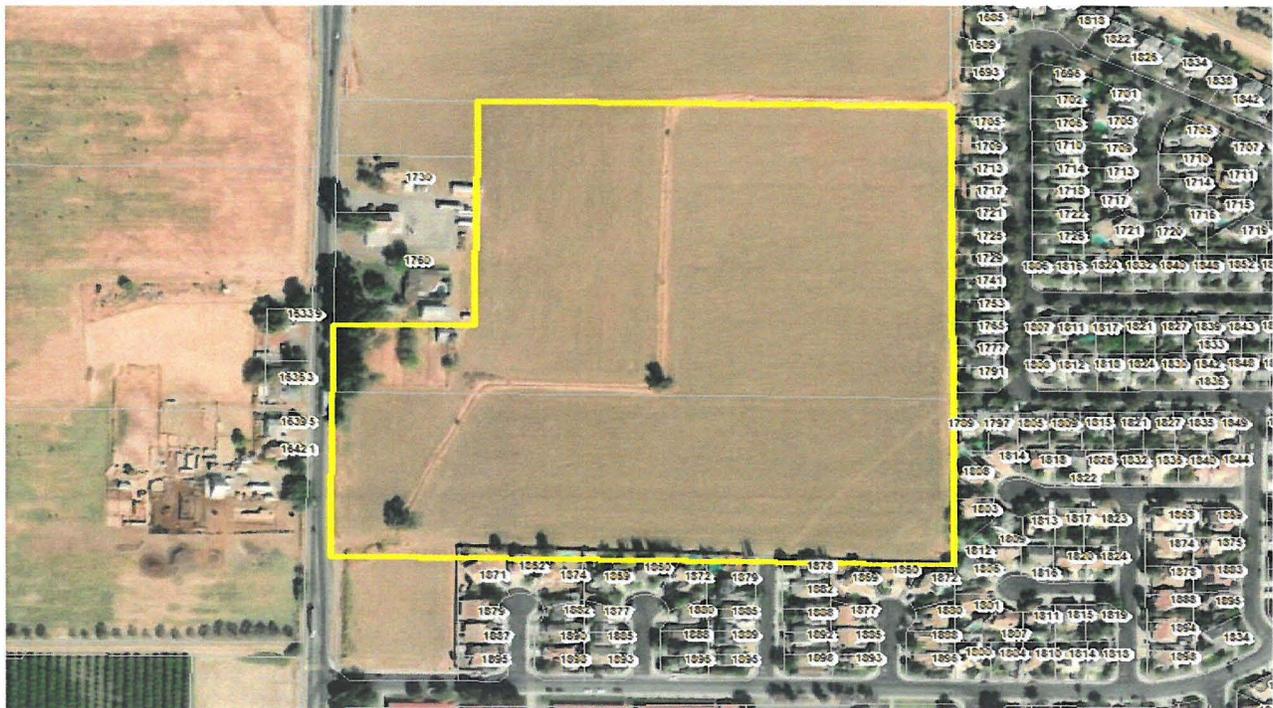
DATE: December 11, 2019

SUBJECT: Project Study Session Review – Shaunessy Village/ D. R. Horton

Project Description

The applicant, D. R. Horton, is preparing to develop 74 Low Density Residential (R-1) lots in the approved Vesting Tentative Tract Map #2018-03 - Shaunessy Village consisting of 151 lots, located east of Mercey Springs Road and north of Scripps Drive. Shaunessy Village was approved by the Planning Commission at a regularly scheduled meeting on Wednesday, October 24, 2018.

The project site has existing residential uses to the east, south and west and an undeveloped parcel to the north zoned Highway Commercial.



In accordance with approved and adopted Planning Commission Resolution #2018-29, Condition No. 122, "Development of the project is subject to approval by the Design Review Committee prior to issuance of any building permits."

The applicant is proposing three (3) different themes; Americana, Farmhouse, and Craftsman. The Americana theme will have four (4) different color pattern options, the bodies will be composed of a variation of stucco and siding and will have two (2) roof material options consisting of tile or composition. The Farmhouse theme will have three (3) different color pattern options, the body materials will consist of a combination of stucco and siding. Some of the siding will be utilized as an accent to the design. The roof material options for the Farmhouse themes will be composition or tile. The Craftsman theme will have four (4) different colors pattern options. The body composition of the Craftsman theme will have variations which are contingent to the specific color pattern option which include siding, stucco, and stone veneers. The stone veneer will act as the accent for this particular theme. The proposed roof material options for the Craftsman are composition and tile.

The applicant has also proposed four (4) different floor plans options as part of the Design Review. There are two (2) single story floor plans and two (2), two (2) story floor plan options. Each of the specific floor plan options has independent additional options. All of the proposed floor plans can accommodate the three (3) proposed themes; Americana, Farmhouse, and Craftsman. Floor Plan 415 is a one story floor plan option. The upgrade options for Floor Plan 415 are; attached covered patio in the rear, a shower in the owner's bathroom, and a three (3) car garage. Floor Plan 419 is also a one story floor plan option with the potential upgrade options consisting of; attached covered patio in rear, shower in the owner's bathroom, ILO powder room in bathroom three (3), and a three (3) car garage. Floor Plan 424 is a two story floor plan option with the potential upgrades such as; shower in the owner's bathroom, attached covered patio in rear, and a three (3) car garage. Floor Plan 428 is also a two story floor plan option. The potential upgrade options available for Floor Plan 428 will be; shower in the owner's bath, second floor laundry room, attached covered patio in the rear, and a three (3) car garage.

Recommendation

Staff is recommending that the Planning Commission evaluate the proposed projects architectural considerations, landscaping, site improvements and exterior lighting elements as described above and provide initial commentary to the applicant regarding the proposed design. No formal action will be taken at this juncture.

Attachments:

Elevations/ Color Pattern Options
Floor Plan Options
Shaunessey Map (R-1 Lots Highlighted)

EXTERIOR COLORS & SPECIFICATIONS

“N” PLANS

D.R. HORTON AMERICA'S BUILDER

Home for every stage in life.®



EXTERIOR COLOR SPECIFICATIONS

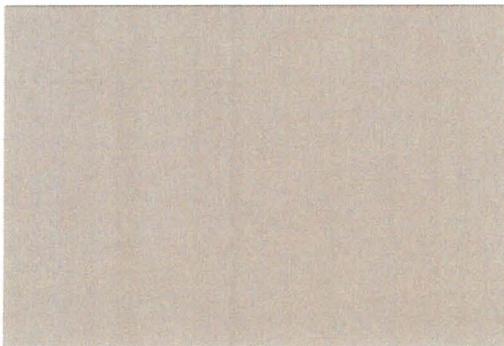
v 07.05.19

SCHEME 1 - AMERICANA (A)

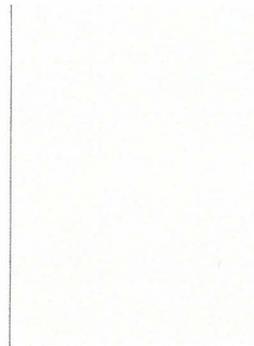
Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	6073, Perfect Greige
	Accent Body	N/A	N/A
	Trim (Wood Trim, Corbels, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7008, Alabaster
	Garage Door	Sherwin-Williams	7019, Gauntlet Gray
	Front Door	Sherwin-Williams	7682, Bees Wax
	Shed Roof	Taylor Metal Products Kynar 500	Musket
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 2687, Brown Gray Range (Malibu)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



Trim



Front Door



Garage Door



Comp Roof



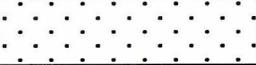
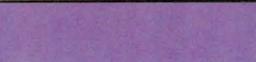
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

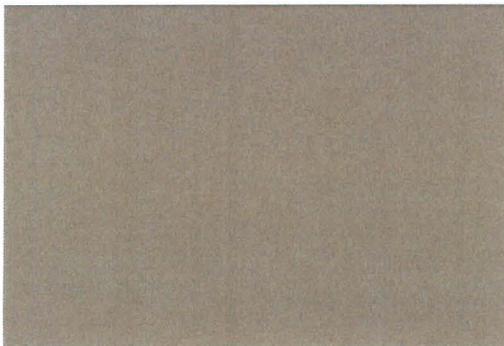
v 07.05.19

SCHEME 2 - AMERICANA (A)

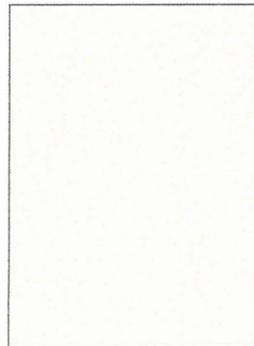
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	Accent Body	N/A	N/A
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	Garage Door	Sherwin-Williams	6385, Dover White
	Front Door	Sherwin-Williams	7675, Sealskin
	Shed Roof	Taylor Metal Products Kynar 500	Musket
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 2687, Brown Gray Range (Malibu)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



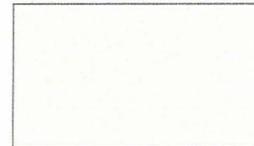
Trim



Front Door



Garage Door



Comp Roof



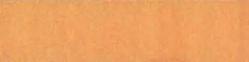
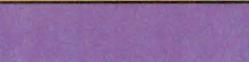
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

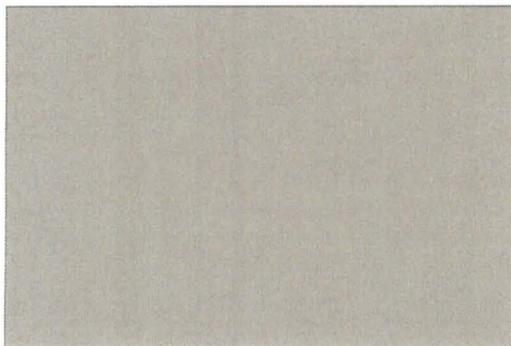
v 07.05.19

SCHEME 3 - AMERICANA (A)

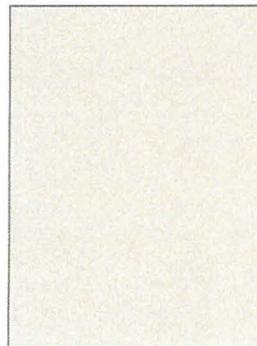
Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	7640, Fawn Brindle
	Accent Body	N/A	N/A
	Trim (Wood Trim, Corbels, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	9166, Drift of Mist
	Garage Door	Sherwin-Williams	9166, Drift of Mist
	Front Door	Sherwin-Williams	7704, Tower Tan
	Shed Roof	Taylor Metal Products Kynar 500	Musket
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 2687, Brown Gray Range (Malibu)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



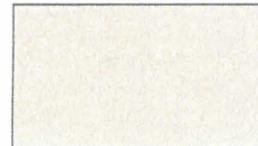
Trim



Front Door



Garage Door



Comp Roof



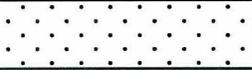
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

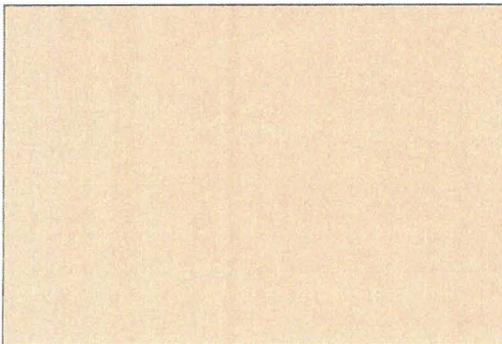
v 07.05.19

SCHEME 4 - AMERICANA (A)

Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	6141, Softer Tan
	Accent Body	N/A	N/A
	Trim (Wood Trim, Corbels, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7033, Brainstorm Bronze
	Garage Door	Sherwin-Williams	7033, Brainstrom Bronze
	Front Door	Sherwin-Williams	0048, Bunglehouse Blue
	Shed Roof	Taylor Metal Products Kynar 500	Musket
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 2687, Brown Gray Range (Malibu)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



Trim



Front Door



Garage Door



Comp Roof



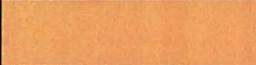
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

v 07.05.19

SCHEME 5 - FARMHOUSE (B)

Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body & Second Floor Siding	OMEGA Products International (Sherwin-Williams paint match)	7005, Pure White
	Accent & First Floor Siding	Sherwin-Williams	7015, Repose Gray
	Trim (Wood Trim, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	2849, Westchester Gray
	Garage Door	Sherwin-Williams	7005, Pure White
	Front Door	Sherwin-Williams	6470, Waterscape
	Front Entry Wood Column		2849, Westchester Gray
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 5699, Charcoal Range (Ponderosa)

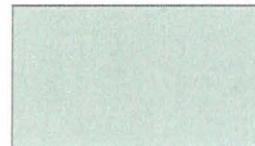
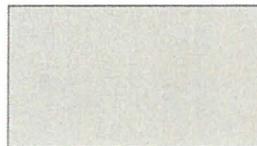
Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body & Second Floor Siding

Accent & First Floor Siding

Front Door

Comp Roof



Trim and Entry Column

Garage Door

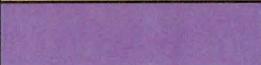
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

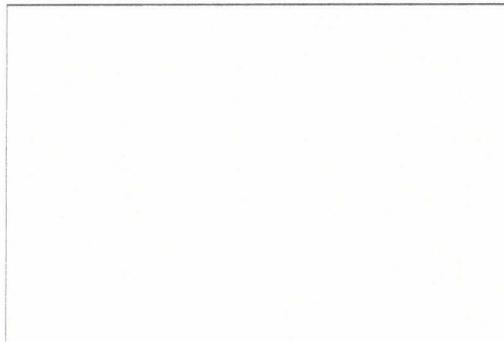
v 07.05.19

SCHEME 6 - FARMHOUSE (B)

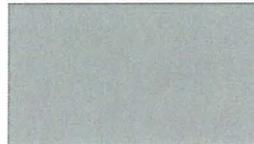
Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body & Second Floor Siding	OMEGA Products International (Sherwin-Williams paint match)	7005, Pure White
	Accent & First Floor Siding	Sherwin-Williams	0031, Dutch Tile Blue
	Trim (Wood Trim, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7674, Peppercorn
	Garage Door	Sherwin-Williams	7005, Pure White
	Front Door	Sherwin-Williams	7005, Pure White
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 5699, Charcoal Range (Ponderosa)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body & Second Floor Siding



Accent & First Floor Siding



Trim



Front Door



Garage Door



Comp Roof



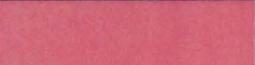
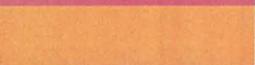
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

v 07.05.19

SCHEME 7 - FARMHOUSE (B)

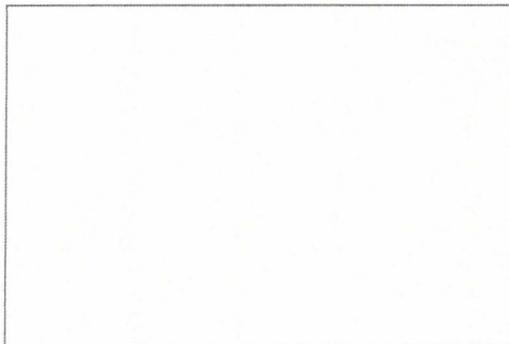
Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body & Second Floor Siding	OMEGA Products International (Sherwin-Williams paint match)	7005, Pure White
	Accent & First Floor Siding	Sherwin-Williams	7017, Dorian Gray
	Trim 1 (Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	6990, Caviar
	Trim 2 (Windows, Front Entry Column)	Sherwin-Williams	7005, Pure White
	Garage Door	Sherwin-Williams	7005, Pure White
	Front Door	Sherwin-Williams	6207, Retreat
	Front Entry Wood Column		7005, Pure White
	Windows	Plygem	Horton & Express - White

**Composition Roof
Tile Roof**

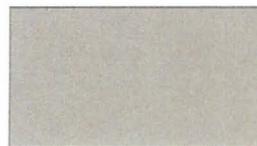
IKO Cambridge Cool
Eagle Roofing

Sand Dune - Cool
5699, Charcoal Range (Ponderosa)

Primary Body & Second Floor Siding



Accent Siding & First Floor Siding



Trim 1



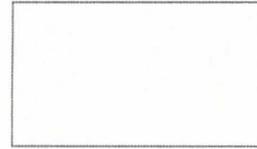
Trim 2



Front Door



Garage Door



Comp Roof



Tile Roof



D·R·HORTON
America's Builder

D·R· HORTON · EXPRESS · EMERALD · FREEDOM

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

EXTERIOR COLOR SPECIFICATIONS

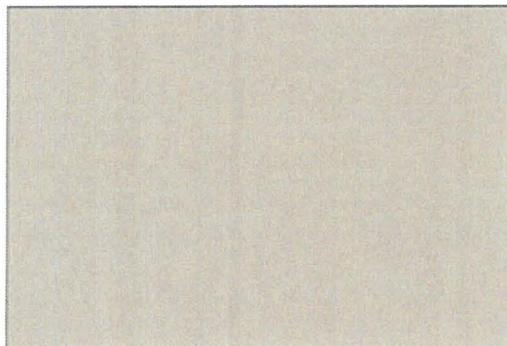
v 07.05.19

SCHEME 8 - CRAFTSMAN (C)

Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	7044, Amazing Gray
	Siding		9171, Felted Wool
	Trim (Wood Trim, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7054, Suitable Brown
	Garage Door	Sherwin-Williams	7044, Amazing Gray
	Front Door	Sherwin-Williams	0014, Sheraton Sage
	Stone	Creative Mines	Winterfall Craft Urban Strip
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 5687, Brown Gray Range (Ponderosa)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

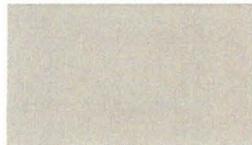
Primary Body



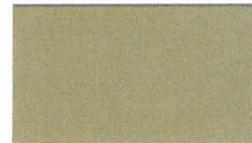
Siding



Garage



Front Door



Trim



Comp Roof



Tile Roof



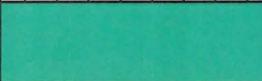
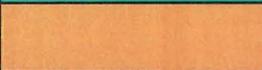
Stone



EXTERIOR COLOR SPECIFICATIONS

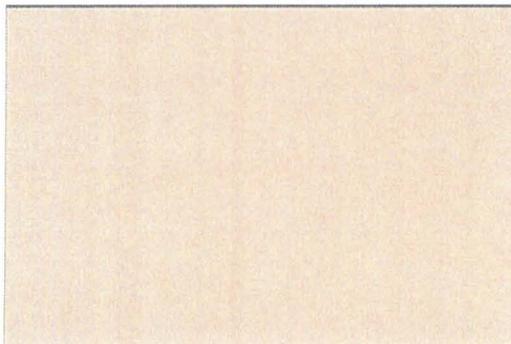
v 07.05.19

SCHEME 9 - CRAFTSMAN (C)

Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	7517, China Doll
	Siding		6074, Spalding Gray
	Trim (Wood Trim, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7517, China Doll
	Garage Door	Sherwin-Williams	7517, China Doll
	Front Door	Sherwin-Williams	6506, Vast Sky
	Stone	El Dorado Stacked Stone	Daybreak Stacked Stone
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 5687, Brown Gray Range (Ponderosa)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



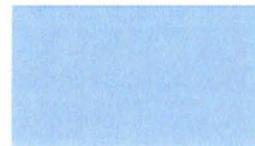
Siding



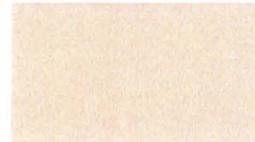
Trim



Front Door



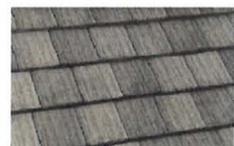
Garage Door



Comp Roof



Tile Roof



Stone



EXTERIOR COLOR SPECIFICATIONS

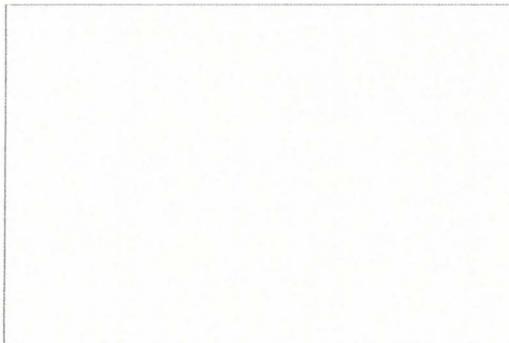
v 07.05.19

SCHEME 10 - CRAFTSMAN (C)

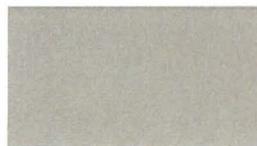
Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	7008, Alabaster
	Siding		7746, Rushing River
	Trim (Wood Trim, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7645, Thunder Gray
	Garage Door	Sherwin-Williams	7008, Alabaster
	Front Door	Sherwin-Williams	6020, Marooned
	Stone	El Dorado Stacked	Silver Lining Stacked Stone
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Cambridge Cool Eagle Roofing	Sand Dune - Cool 5699, Charcoal Range (Ponderosa)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



Siding



Garage Door

Front Door



Trim



Comp Roof



Stone



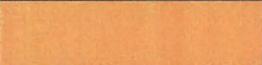
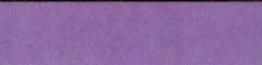
Tile Roof



EXTERIOR COLOR SPECIFICATIONS

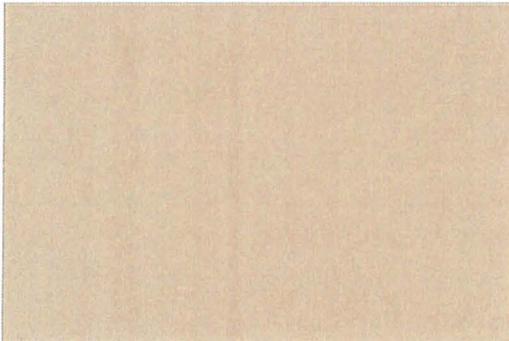
v 07.05.19

SCHEME 11 - CRAFTSMAN (C)

Color Blocking Key	Item	Manufacturer	Color & Name
	Primary Body	OMEGA Products International (Sherwin-Williams paint match)	7528, Windsor Greige
	Siding		7737, Meadow Trail
	Trim (Wood Trim, Fascia Boards, Garage Man Door, Gutters, Downspouts)	Sherwin-Williams	7102, White Flour
	Garage Door	Sherwin-Williams	7528, Windsor Greige
	Front Door	Sherwin-Williams	6990, Caviar
	Stone	El Dorado Country Rubble	Orchard Cypress Ridge
	Windows	Plygem	Horton & Express - White
	Composition Roof Tile Roof	IKO Eagle Roofing	Sand Dune - Cool 5687, Brown Gray Range (Ponderosa)

Colors may vary due to screen resolution and/or printer capability. Refer to actual paint chips for color accuracy.

Primary Body



Siding



Garage Door



Front Door



Trim



Comp Roof



Stone



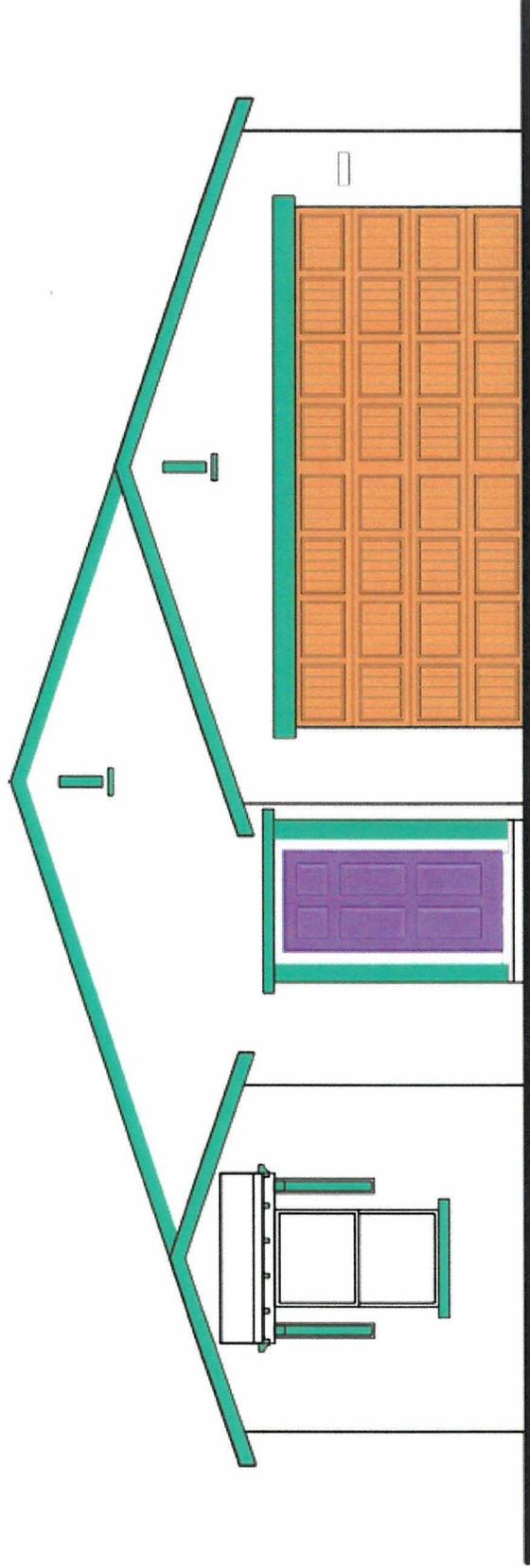
Tile Roof



EXTERIOR COLOR BLOCKING

PLAN N415 - AMERICANA (A)

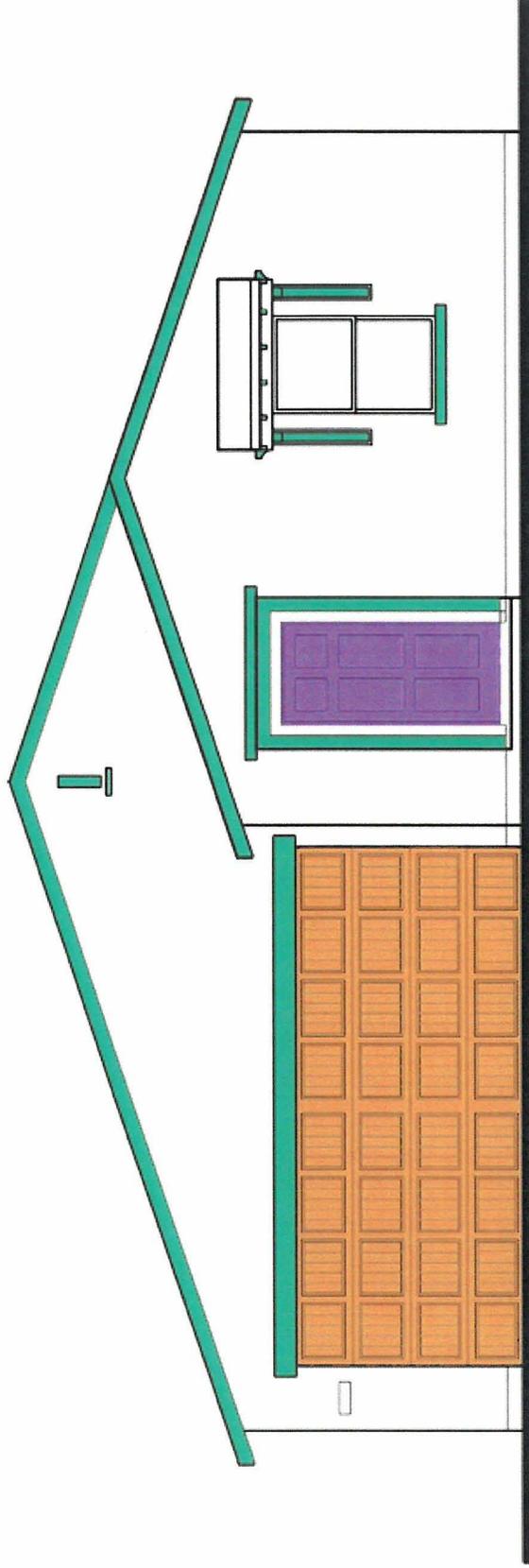
v 07.05.19



EXTERIOR COLOR BLOCKING

v 07.05.19

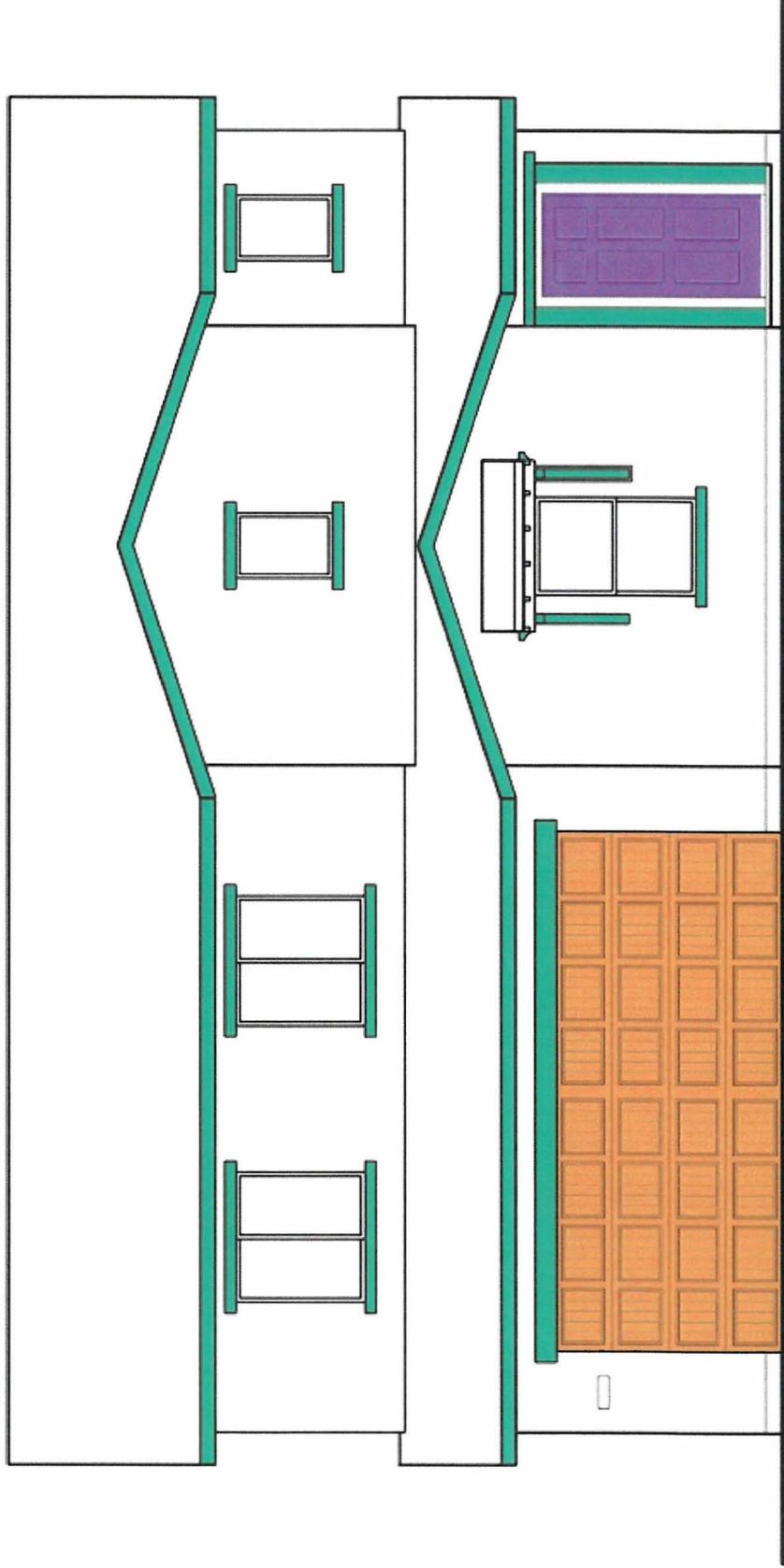
PLAN N419 - AMERICANA (A)



EXTERIOR COLOR BLOCKING

v 07.05.19

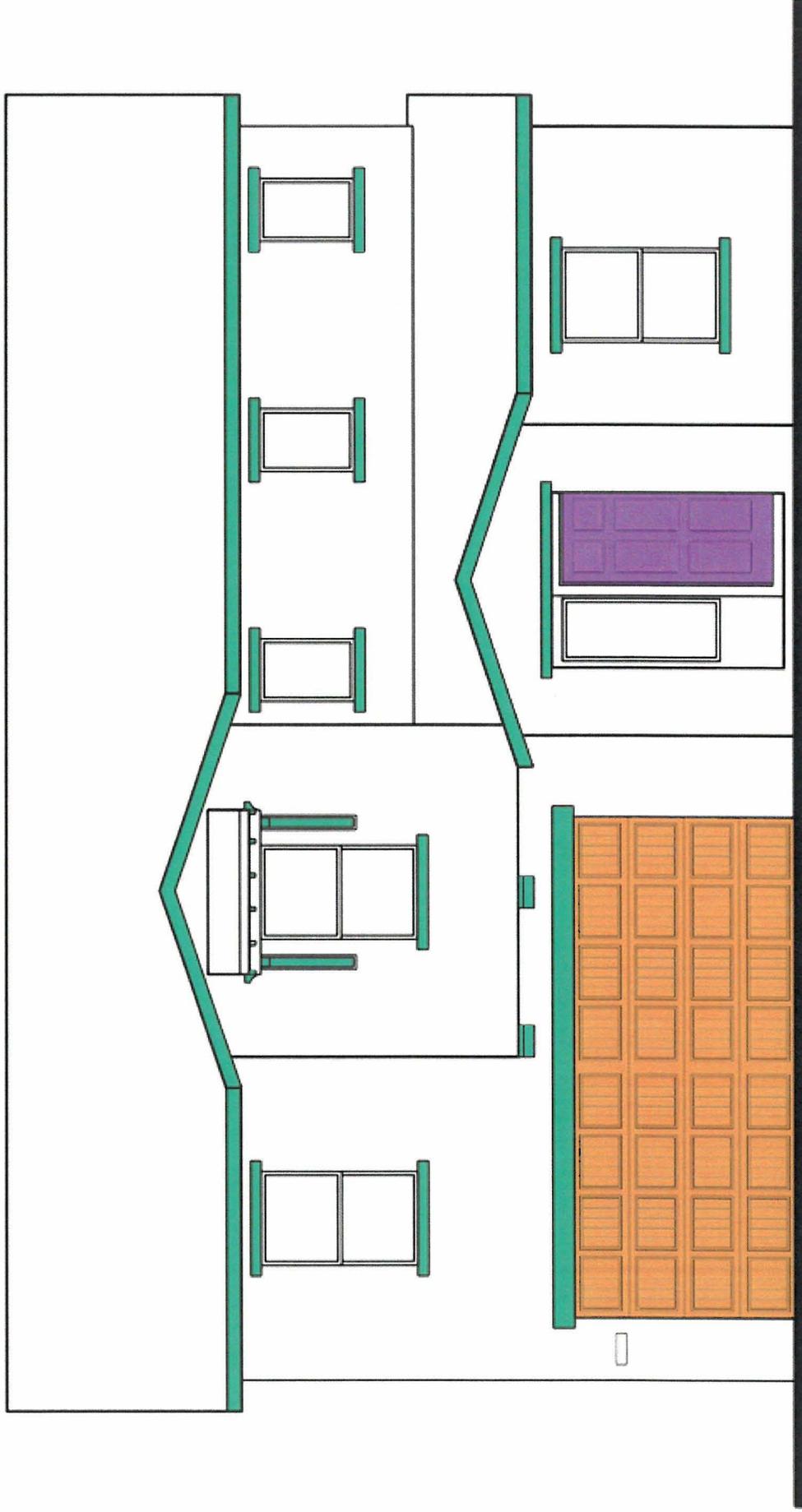
PLAN N424 - AMERICANA (A)



EXTERIOR COLOR BLOCKING

PLAN N428 - AMERICANA (A)

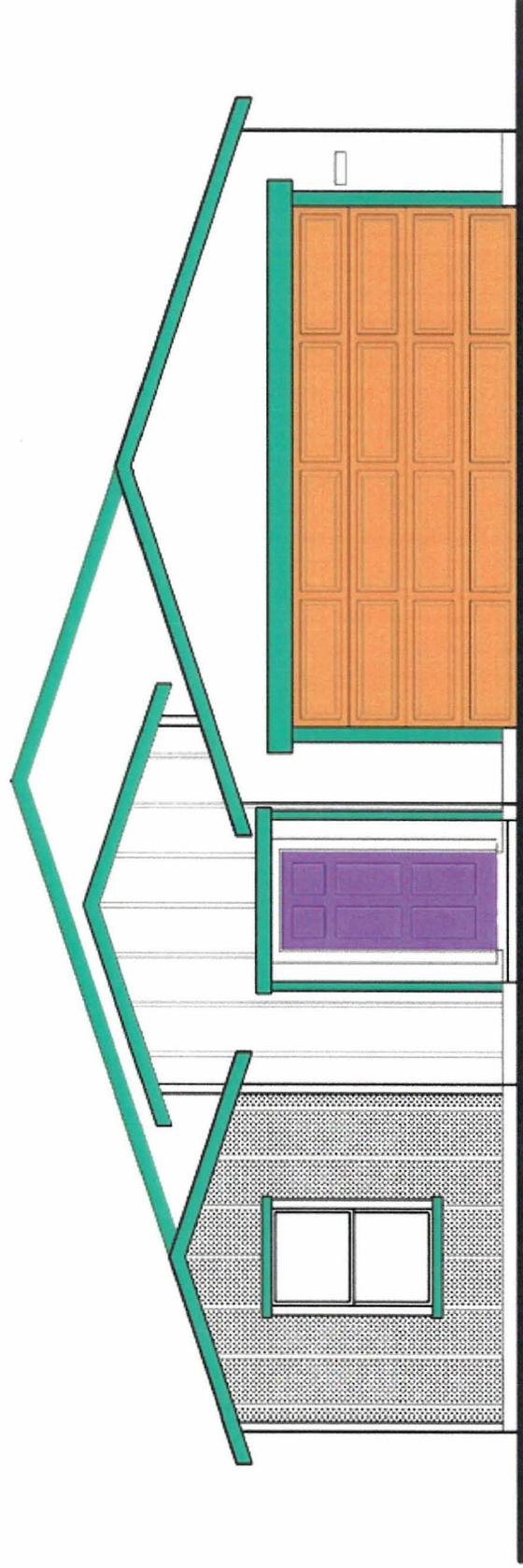
v 07.05.19



EXTERIOR COLOR BLOCKING

v 07.05.19

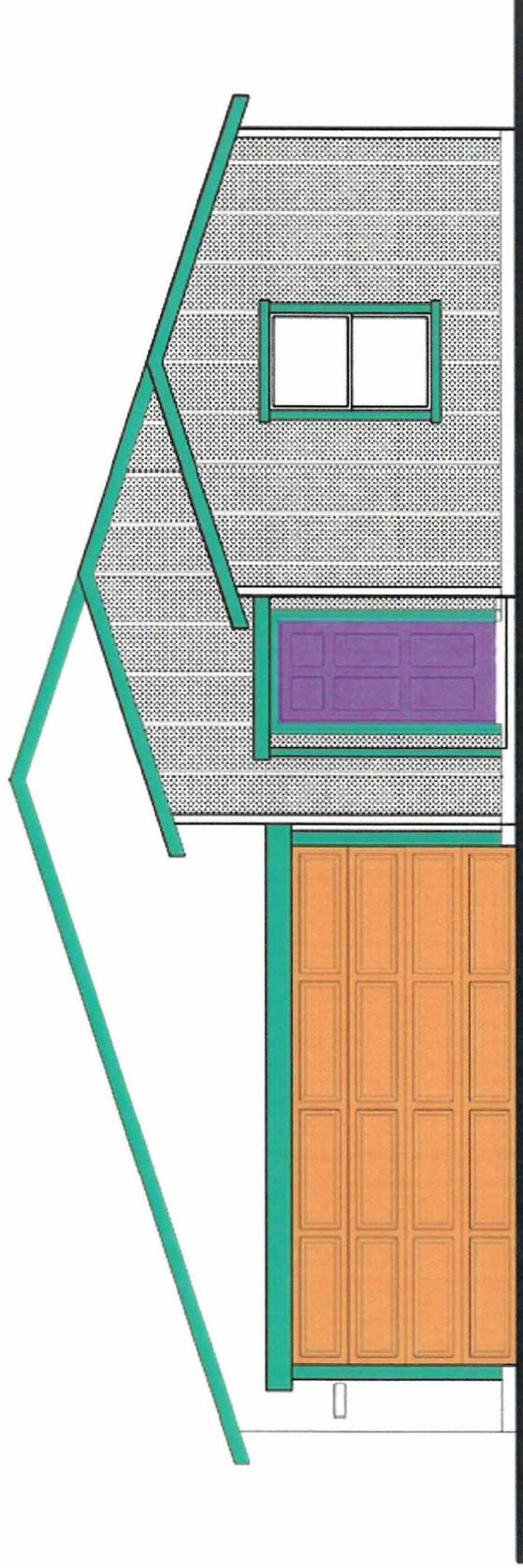
PLAN N415 - FARMHOUSE (B)



EXTERIOR COLOR BLOCKING

PLAN N419 - FARMHOUSE (B)

v 07.05.19



EXTERIOR COLOR BLOCKING
PLAN N424 - FARMHOUSE (B)

v 07.05.19



D.R. HORTON
America's Builder

D. R. HORTON • EXPRESS • EMERALD • FREEDOM

EXTERIOR COLOR BLOCKING

v 07.05.19

PLAN N428 - FARMHOUSE (B)



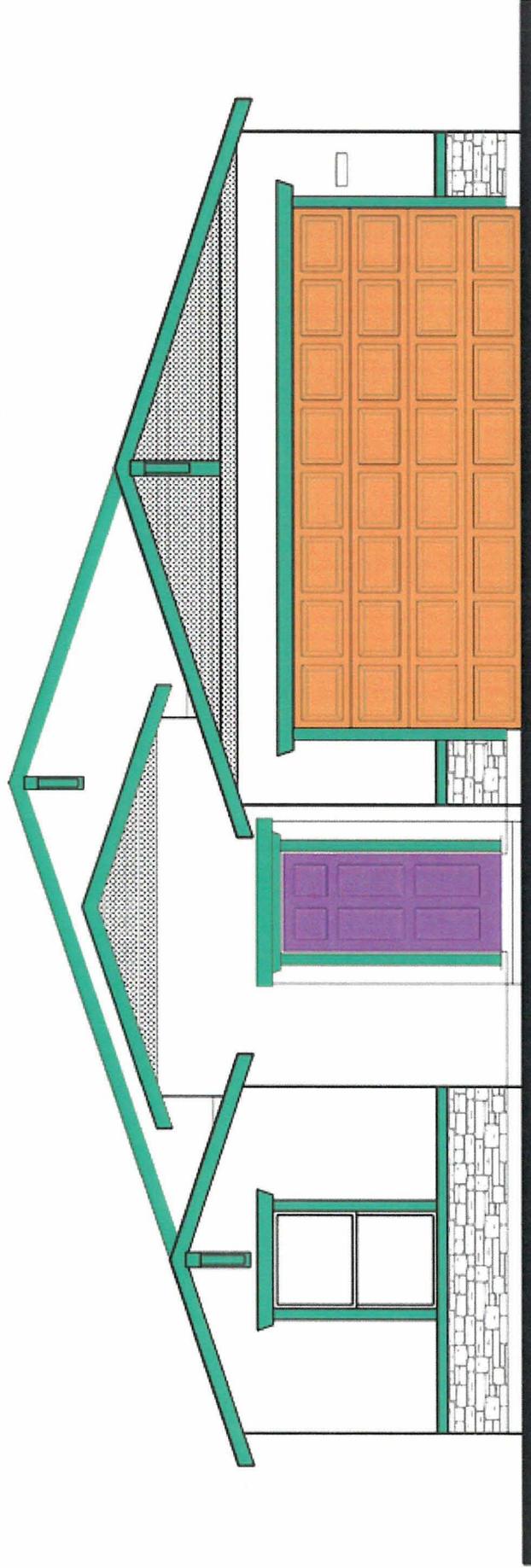
PLAN N415 - CRAFTSMAN (C)



EXTERIOR COLOR BLOCKING

v 07.05.19

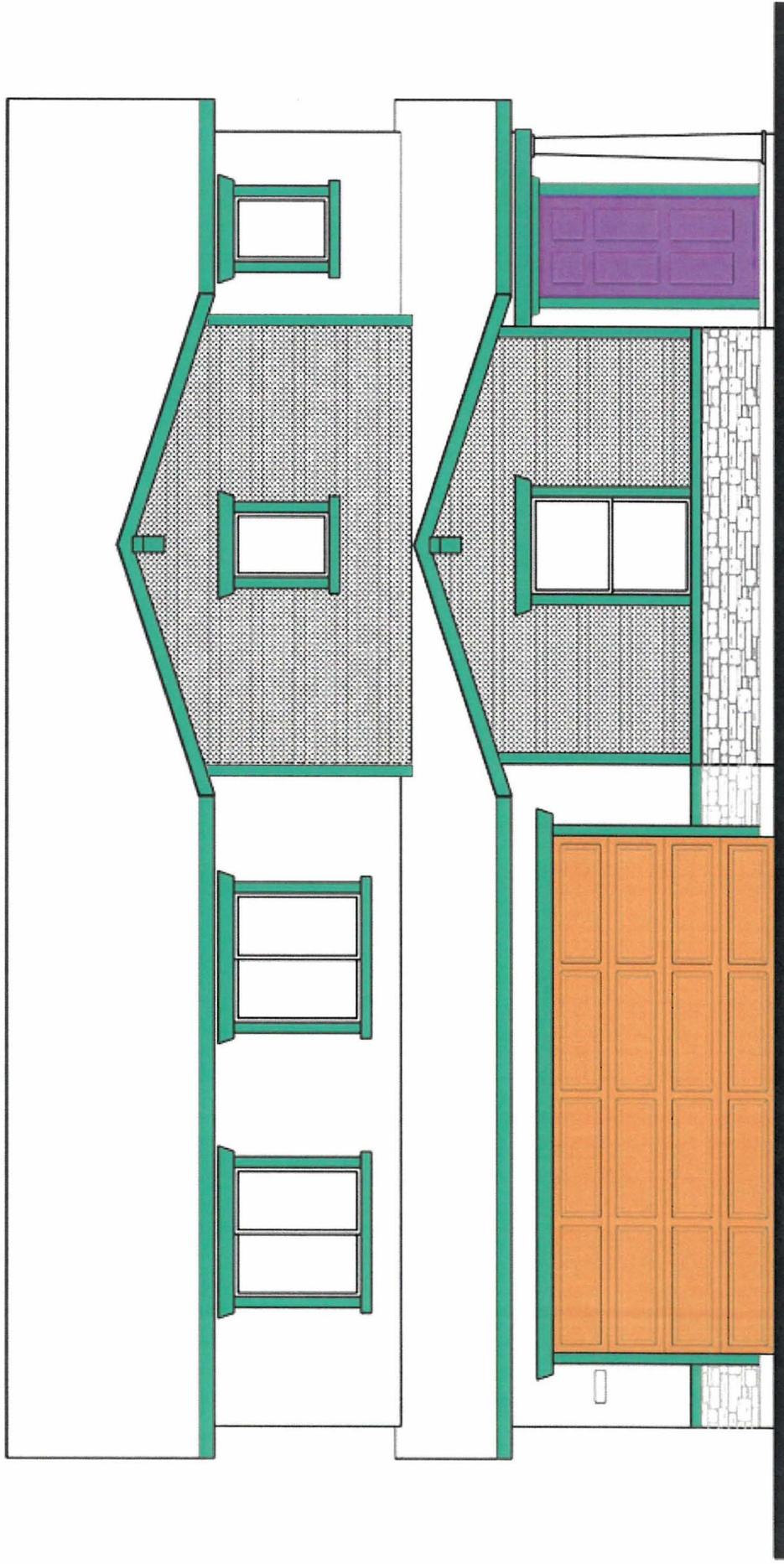
PLAN N419 - CRAFTSMAN (C)



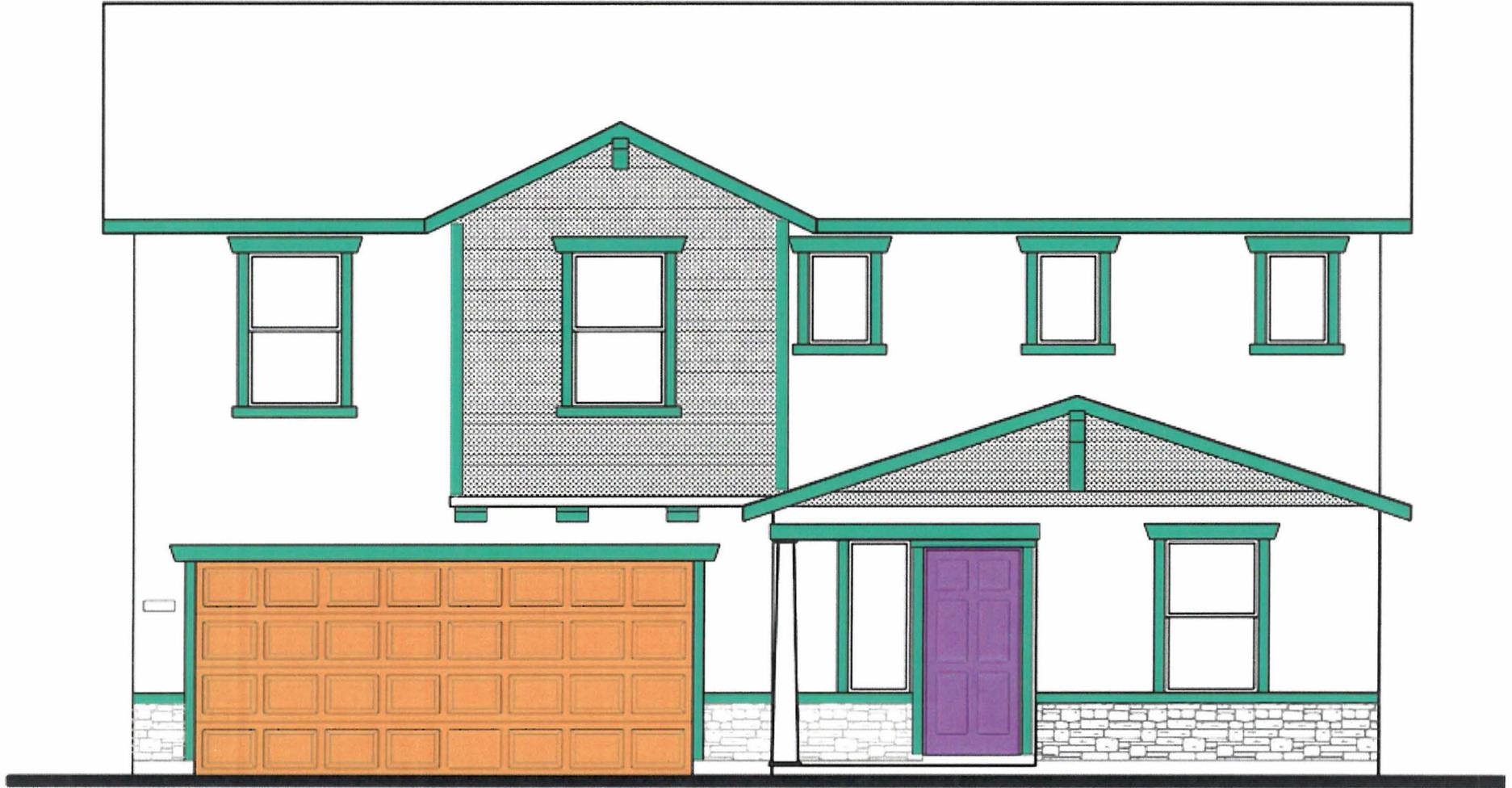
EXTERIOR COLOR BLOCKING

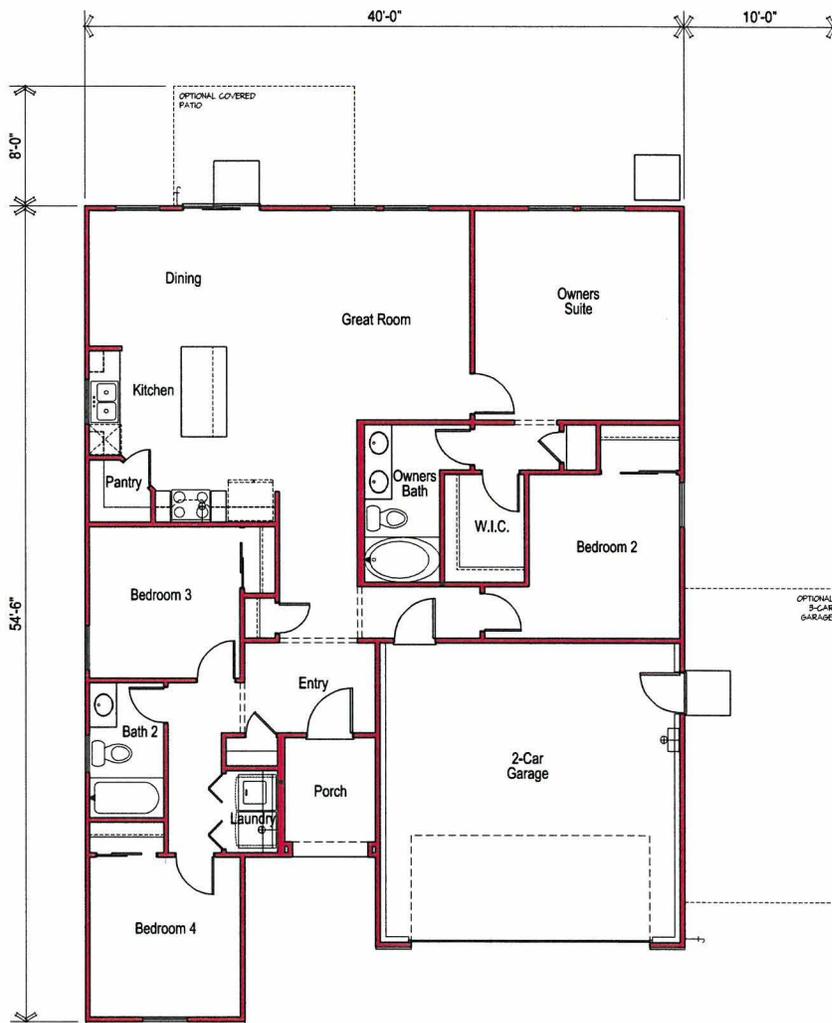
PLAN N424 - CRAFTSMAN (C)

v 07.05.19



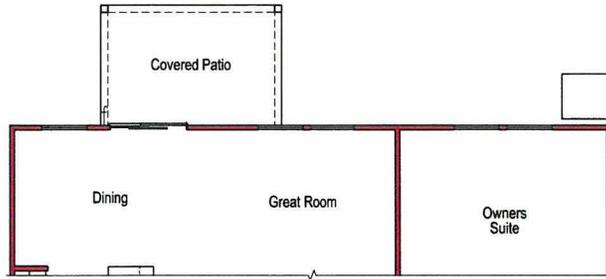
PLAN N428 - CRAFTSMAN (C)





Main Floor Plan

SCALE: 1/4"=1'-0"



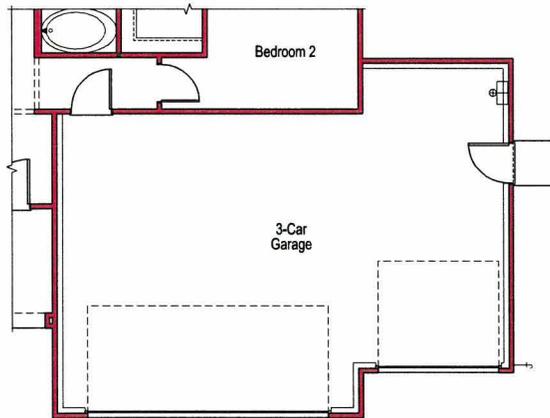
**Opt. Covered Patio
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Shower @ Owner's Bath
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. 3-Car Garage
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



Elevation "A" - Americana

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



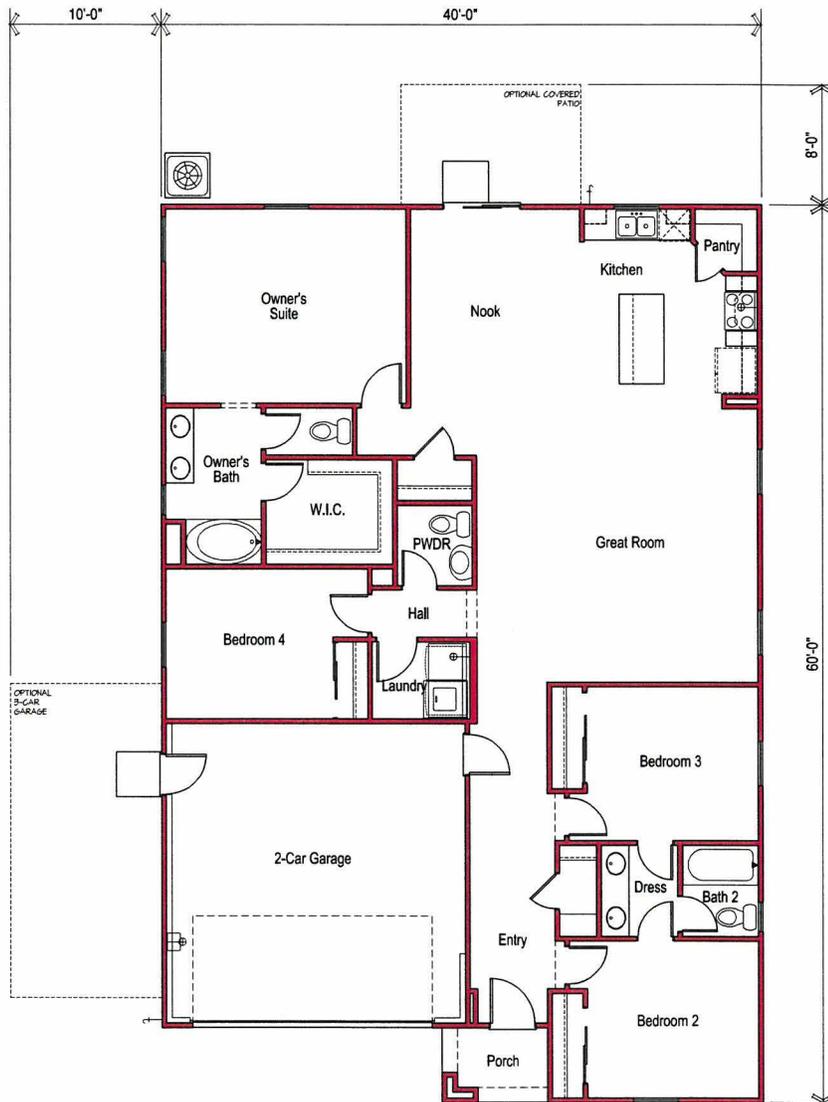
Elevation "B" - Farmhouse

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



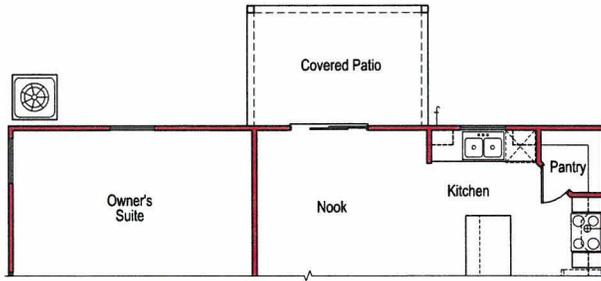
Elevation "C" - Craftsman

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



Main Floor Plan

SCALE: 1/4"=1'-0"



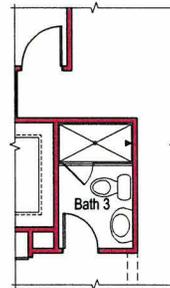
**Opt. Covered Patio
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



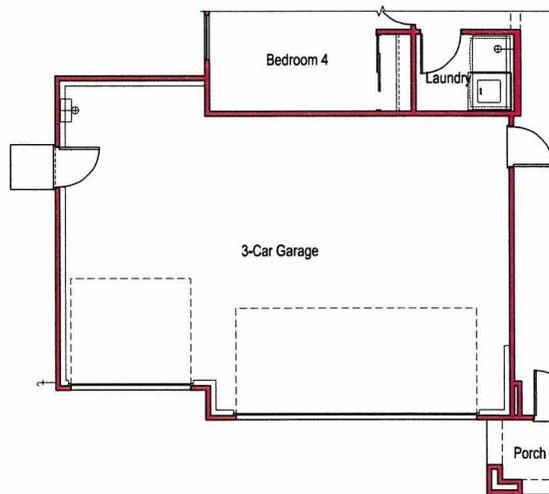
**Opt. Shower @ Owner's Bath
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



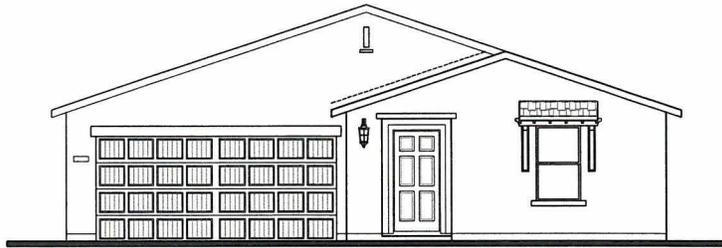
**Opt. Bath 3 ilo Powder
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



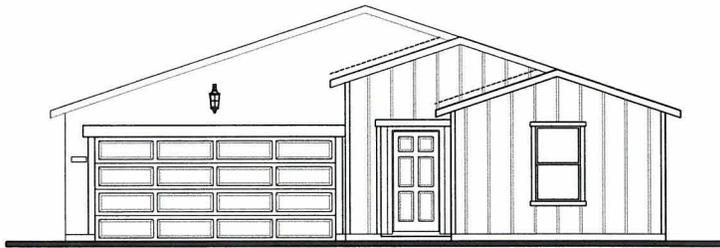
**Opt. 3-Car Garage
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



Elevation "A" - Americana

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



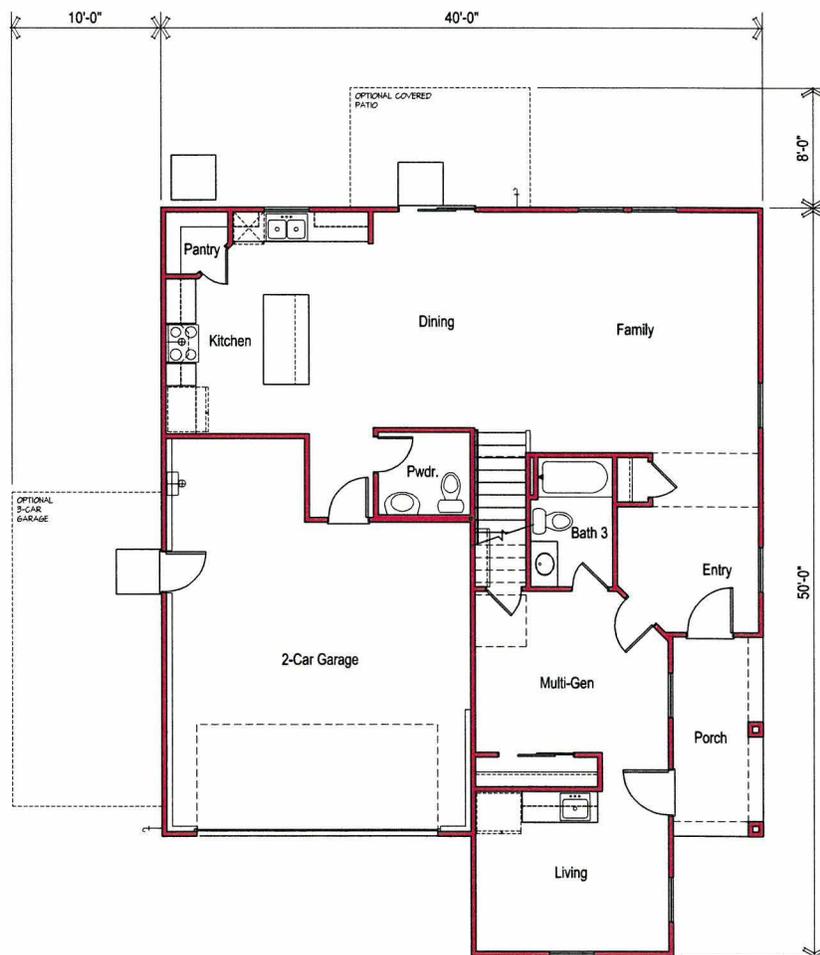
Elevation "B" - Farmhouse

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



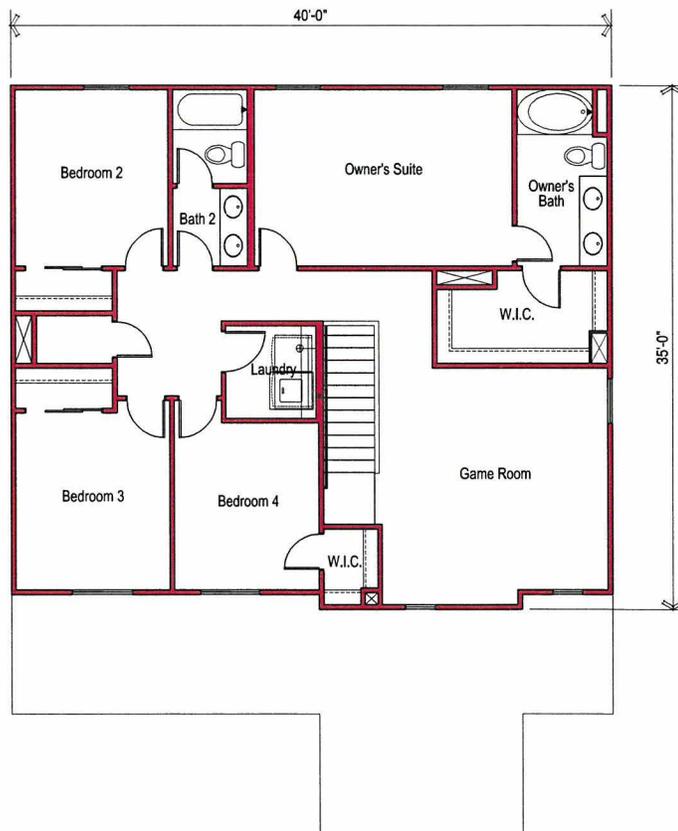
Elevation "C" - Craftsman

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



Main Floor Plan

SCALE: 1/4"=1'-0"



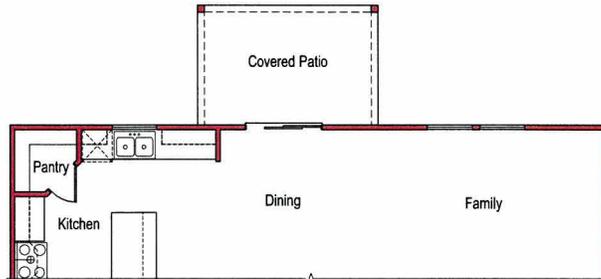
Upper Floor Plan

SCALE: 1/4"=1'-0"



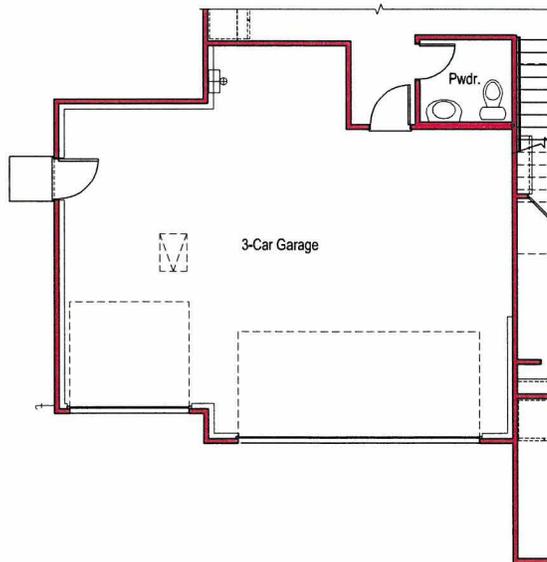
**Opt. Shower @ Owner's Bath
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Covered Patio
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. 3-Car Garage
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



Elevation "A" - Americana

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



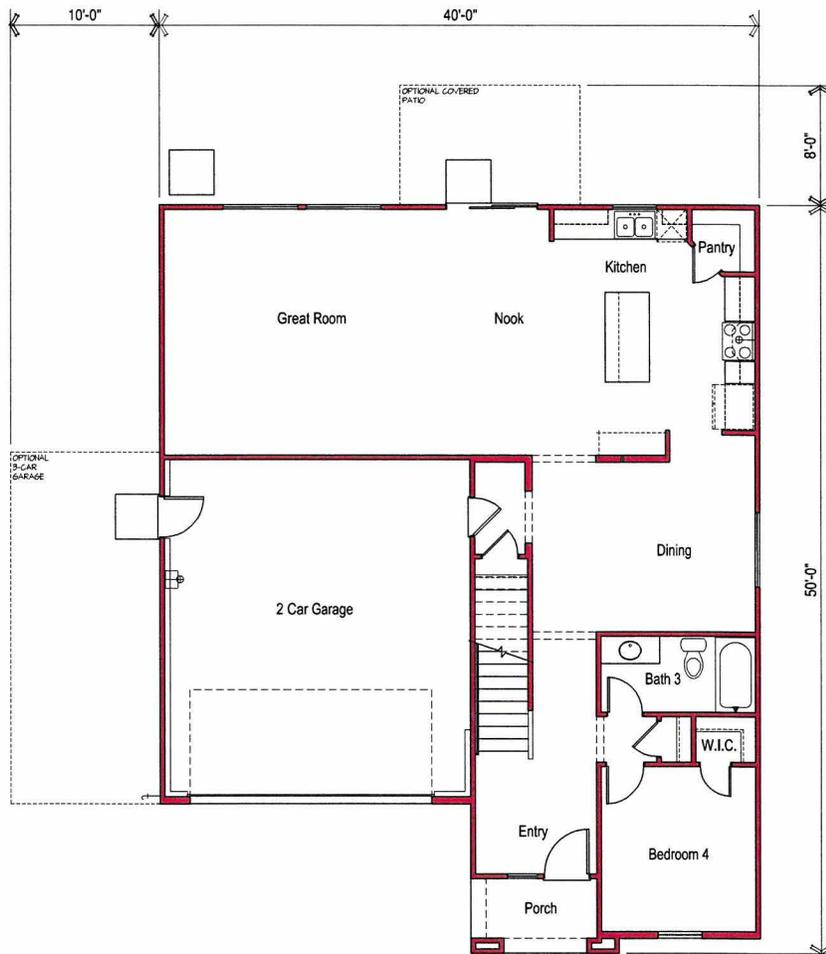
Elevation "B" - Farmhouse

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



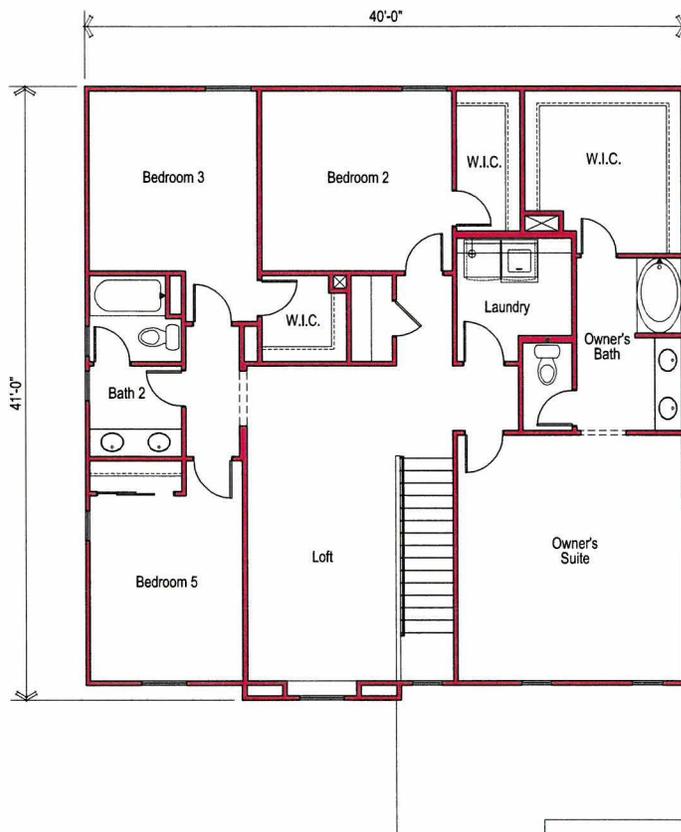
Elevation "C" - Craftsman

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



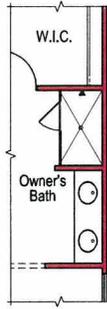
Main Floor Plan

SCALE: 1/4"=1'-0"



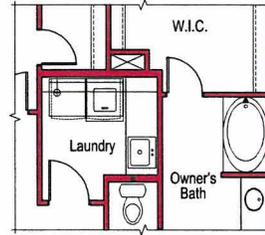
Upper Floor Plan

SCALE: 1/4"=1'-0"



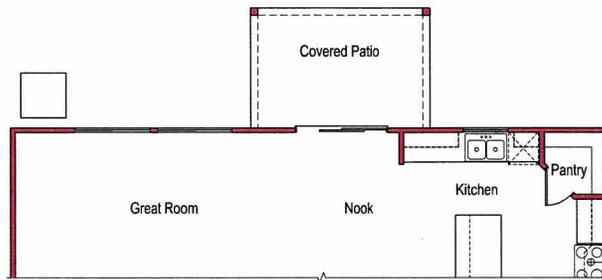
Opt. Shower @ Owner's Bath
Partial Upper Floor Plan

SCALE: 1/4"=1'-0"



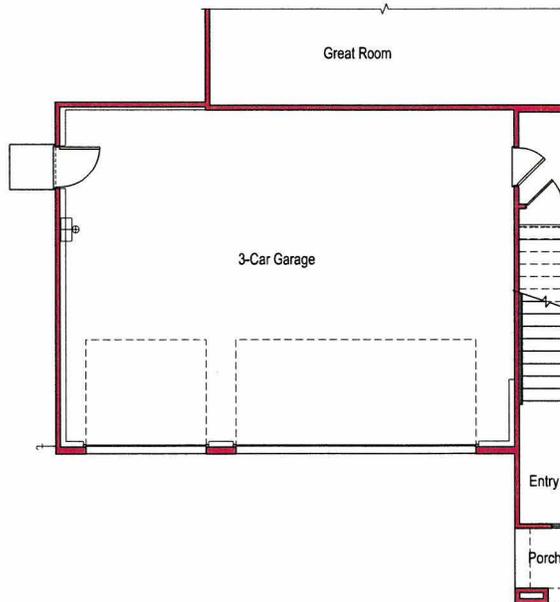
Opt. Laundry
Partial Upper Floor Plan

SCALE: 1/4"=1'-0"



Opt. Covered Patio
Partial Main Floor Plan

SCALE: 1/4"=1'-0"



Opt. 3-Car Garage
Partial Main Floor Plan

SCALE: 1/4"=1'-0"



Elevation "A" - Americana

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



Elevation "B" - Farmhouse

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



Elevation "C" - Craftsman

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (16x7)



City of
Los Banos
At the Crossroads of California

DESIGN REVIEW STUDY SESSION

TO: Chairperson Cates and Planning Commissioners

FROM: Rudy Luquin, Associate Planner *RL*

DATE: December 11, 2019

**SUBJECT: REQUEST FOR A DESIGN REVIEW #2019-02 FOR THE COLOR OF
THE EXTERIOR OF A BUILDING LOCATED AT 201 I STREET: 025-
271-001**

Project Description:

The applicants, Nilson & Belquis Filho, have requested a Design Review to maintain the modified exterior color of his existing approximate 2,100 square foot building located at 201 I Street. The subject commercial structure has been proposed to accommodate a produce retail business. The structure was painted a bright orange color which is not consistent with the City of Los Banos preferred color palette as aforementioned in the Los Banos Community Design Standards, Chapter 4.0, Commercial Design Standards CB-14, Building Colors, "Colors shall be chosen to complements the building architecture and landscaping. Natural color palettes and earth tones are generally preferred. The discriminating use of saturated colors is desirable provided the color does not visually dominate nearby historic places or structures."



The Community and Economic Development Director has referred the project to the Planning Commission for a Design Review on the aesthetic aspects related to the proposed project pursuant to Section 9-3.2318(a) of the Design Review Ordinance.

Planning Commission Design Review

Architecture

Pursuant to Section 9-3.2318(c) of the Design Review Ordinance, the Planning Commission shall evaluate and provide feedback on the following architectural elements:

- Architectural style and consistency;
- Height;
- Bulk;
- Area;
- **Color of buildings;**
- Types of construction materials;
- Physical and architectural relationships with existing and proposed structures;
- Materials and variations of boundary walls;
- Fences;
- Exterior elevations of all sides of the buildings or structures; and
- Methods used to screen mechanical equipment from public view.

Staff received numerous complaints during the actual painting of the building and after the painting was completed. Staff forwarded the complaints to Code Enforcement for

further action. The applicants, Nilson and Belquis Filho wish to maintain the previously modified, now existing bright orange color on the exterior of the building at the discretion of the Planning Commission

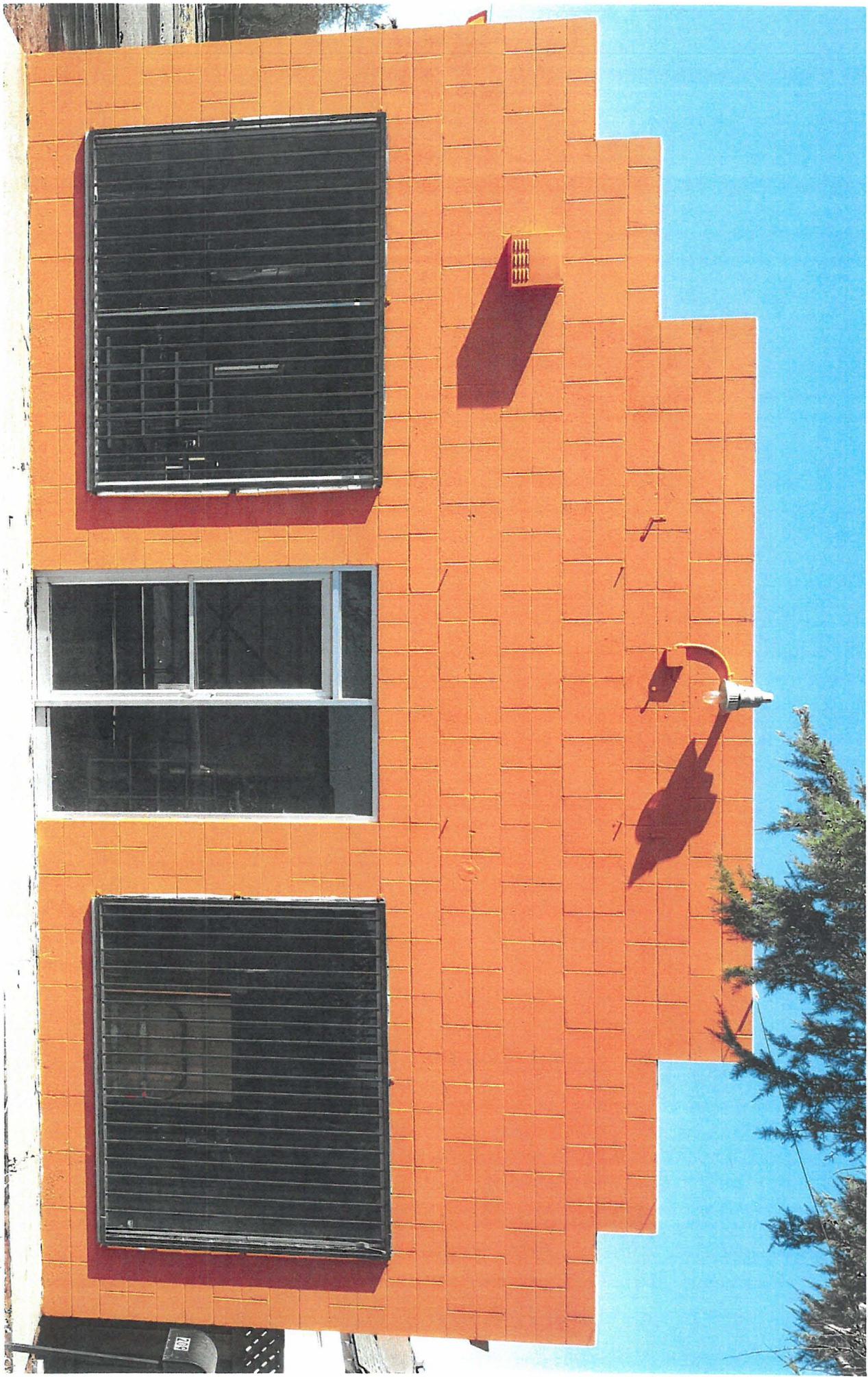
No other improvements have been done other than the exterior building color.

Recommendation

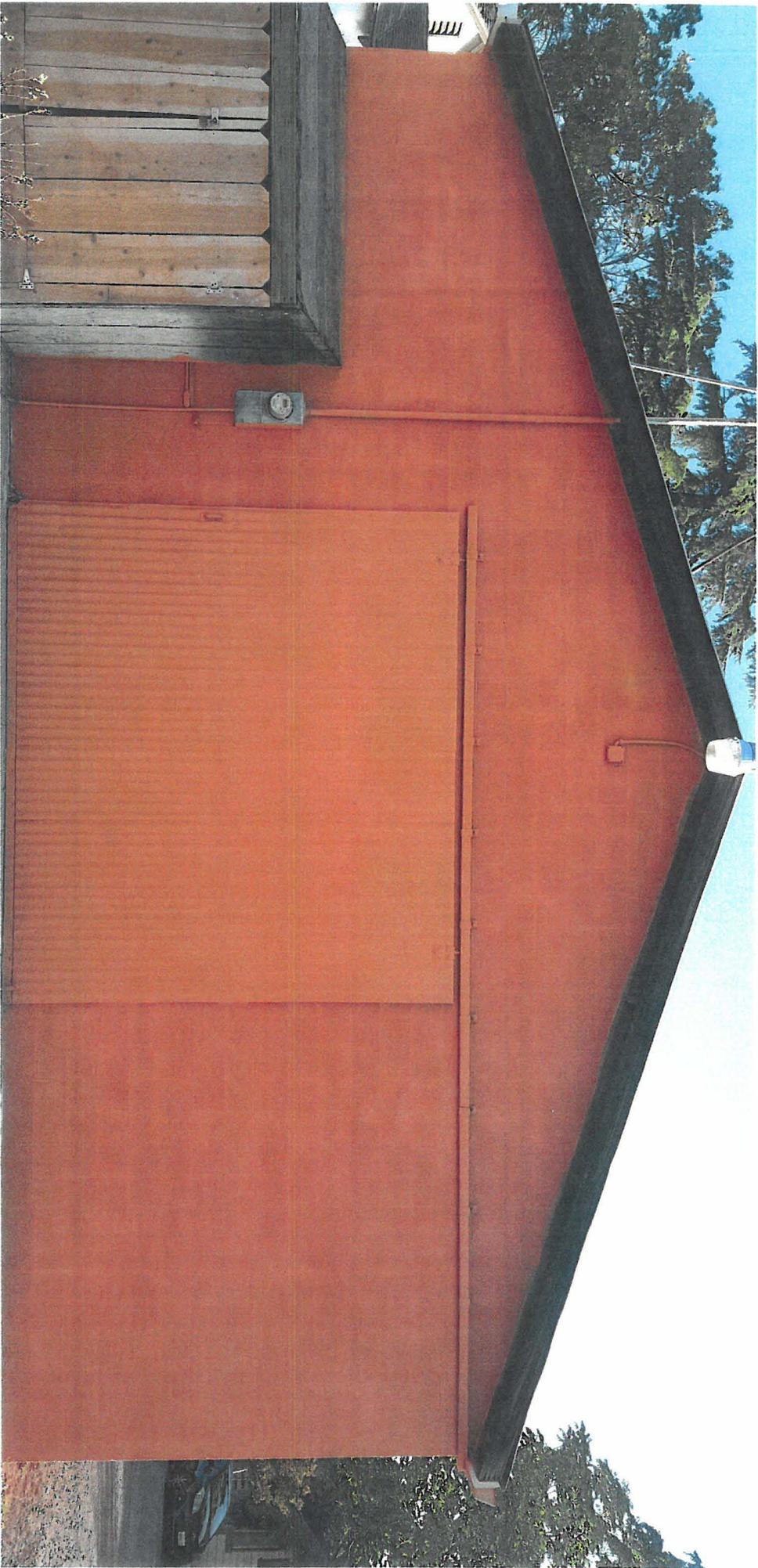
Staff is requesting that the Planning Commission evaluate the proposed and existing exterior color and provide feedback to the applicant.

Attachments

Building Photos



North



South



EAST